

# The Gateway

AT GRAND TERRACE SPECIFIC PLAN

DRAFT

DECEMBER 2017

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# City of Grand Terrace

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# CHAPTER 1

## INTRODUCTION

### 1.1 Purpose and Intent

The purpose of the Gateway at Grand Terrace Specific Plan (Specific Plan) is to guide and encourage the development and revitalization of underutilized land in the southwest corner of the City of Grand Terrace. While the City's General Plan is the primary guide for City-wide growth and development, this Specific Plan focuses on the distinctive characteristics of properties within their surrounding context by customizing the planning process and land use regulations specifically in this area, in a manner consistent with the General Plan.

The Gateway at Grand Terrace Specific Plan:

- Authorizes the redevelopment of a blighted industrial property;
- Organizes a mix of land uses which will provide a variety of housing and businesses, spurring new jobs and services;
- Implements development standards and design guidelines establishing a vibrant community;
- Provides diversity of high-quality architecture and landscape with appropriate open space areas;
- Provides for the distribution, location and extent and intensity of major components of public and private roads, sewage, water, drainage, solid waste disposal, dry utilities, and other essential facilities within the Specific Plan area and/or needed to support the proposed land uses;
- Establishes compatibility standards and guidelines to minimize negative impacts on adjacent properties; and
- Includes operational and maintenance plans for financing improvements.

## 1.2 Document Organization

This Specific Plan defines a vision and guiding planning principles for future development, with standards and requirements established for development of the site. The Specific Plan is arranged into five Chapters and Appendices as follows:

**Chapter 1: Introduction:** This Chapter describes the purpose and intent of the Specific Plan, site location and a summary of the existing conditions affecting the Specific Plan area, including existing City land use and zoning designations, as well as existing and surrounding development area land uses.

**Chapter 2: Zoning and Development Standards:** Chapter 2 presents the Land Use Plan, describes the zoning, specifies the permitted and conditionally permitted uses, and establishes development standards and requirements.

**Chapter 3: Infrastructure and Services:** This Chapter describes the transit, vehicular, bicycle and pedestrian circulation, infrastructure, utilities, public services, and school provisions.

**Chapter 4: Design Guidelines:** The Design Guidelines include landscape and architectural guidelines to promote high-quality development.

**Chapter 5: Administration:** This Chapter discusses the provisions for financing/maintenance of improvements and the process for implementation of the Specific Plan's standards and requirements.

**Appendix A: Property Ownership:** This Appendix identifies the property ownerships within the Specific Plan.

**Appendix B: Plant Palette:** This Appendix includes the approved plant list.

### 1.3 Location

The City of Grand Terrace is located approximately 60 miles east of Los Angeles in the southwesterly portion of San Bernardino County. The southern boundary of the City coincides with the boundary line between San Bernardino and Riverside Counties. Main Street, the southern boundary of the Specific Plan, is also the southern boundary of the City. The 131-acre Specific Plan is located in southwestern Grand Terrace. Because of its adjacency to the I-215, the Specific Plan area serves as a natural gateway to the City of Grand Terrace. The visibility from the freeway provides opportunity for the City to showcase their vibrant community, encouraging commercial and residential vitality.

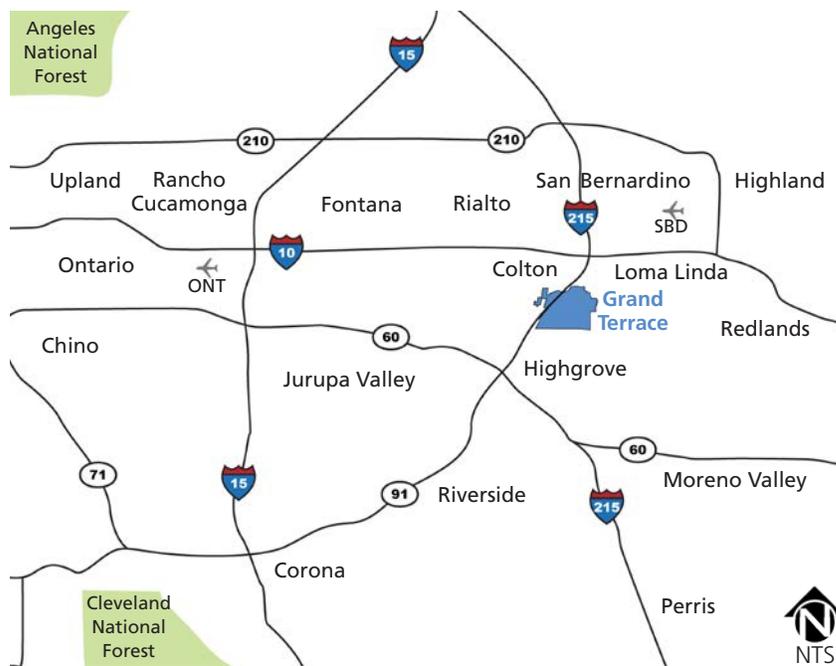


Figure 1.1: Regional Context

### 1.4 Property History

During the early years of Grand Terrace, most of the Specific Plan area was used for orchards. Over the years some land was converted to dry farming or left vacant. For more than two decades, the City has attempted to foster development in the Specific Plan area (also known as the Southwest Commercial area). However, the lack of drainage and sewer infrastructure improvements has hampered development. With the implementation of the Specific Plan, necessary infrastructure will be set in place to enable the area’s development.

In 2010, the General Plan was updated to re-designate the majority of the Specific Plan area to Mixed Use. This change requires the preparation of a Specific Plan to allow for a mix of commercial and residential uses. Approximately 53 acres of the Specific Plan's total acreage was acquired by the Grand Terrace Community Redevelopment Agency (RDA) between 2000 and 2011 with RDA tax increment funds. With the dissolution of redevelopment agencies in 2011, the Successor Agency for the RDA developed a Long Range Property Management Plan (LRPMP) to control the disposition of its real property assets. Refer to Figure 1.2: Existing Land Uses for location of the 53 acres.

Development of the Specific Plan will require retention basins on the site and significant storm drain improvements along De Berry and Van Buren Streets. While the I-215 interchange at Barton Road is in the process of being reconstructed, local streets typically providing area access are inadequate for the increased traffic volume that would result from development, requiring the extension of roadways through the Specific Plan area. Significant curb, gutter and storm drain improvements are required.

The land within the Specific Plan area is owned by several property owners including private parties, municipalities and utility providers. Refer to Appendix A for the 2017 ownership list.

## 1.5 Existing Conditions

The Specific Plan geography is relatively flat and generally slopes from the northeast to southwest ranging from 980 to 920 (NAVD88) with the low point at the end of De Berry Street. Currently the area is primarily vacant and/or used for storage with interspersed residential uses. A concrete-lined storm channel carries runoff from a storm drain at the western end of De Berry Street, southwest beneath the Riverside Aqueduct and into the westward-flowing drainage way that crosses the Specific Plan from the western end of Van Buren Street. This drainageway drains beneath the I-215 in a concrete-lined channel, continues to the southwest beneath La Cadena Avenue and flows into a debris basin about 0.8 miles off-site.

There is a decommissioned Union Pacific Railroad (UPR) line that traverses the Specific Plan area in a north/south direction. This property is in the process of being acquired for street purposes. There are four wells owned by the City of Riverside located in the Specific Plan area that will remain but may be modified.

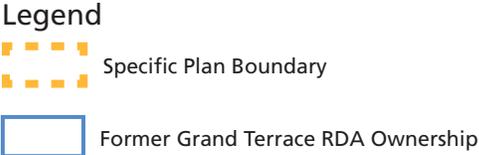
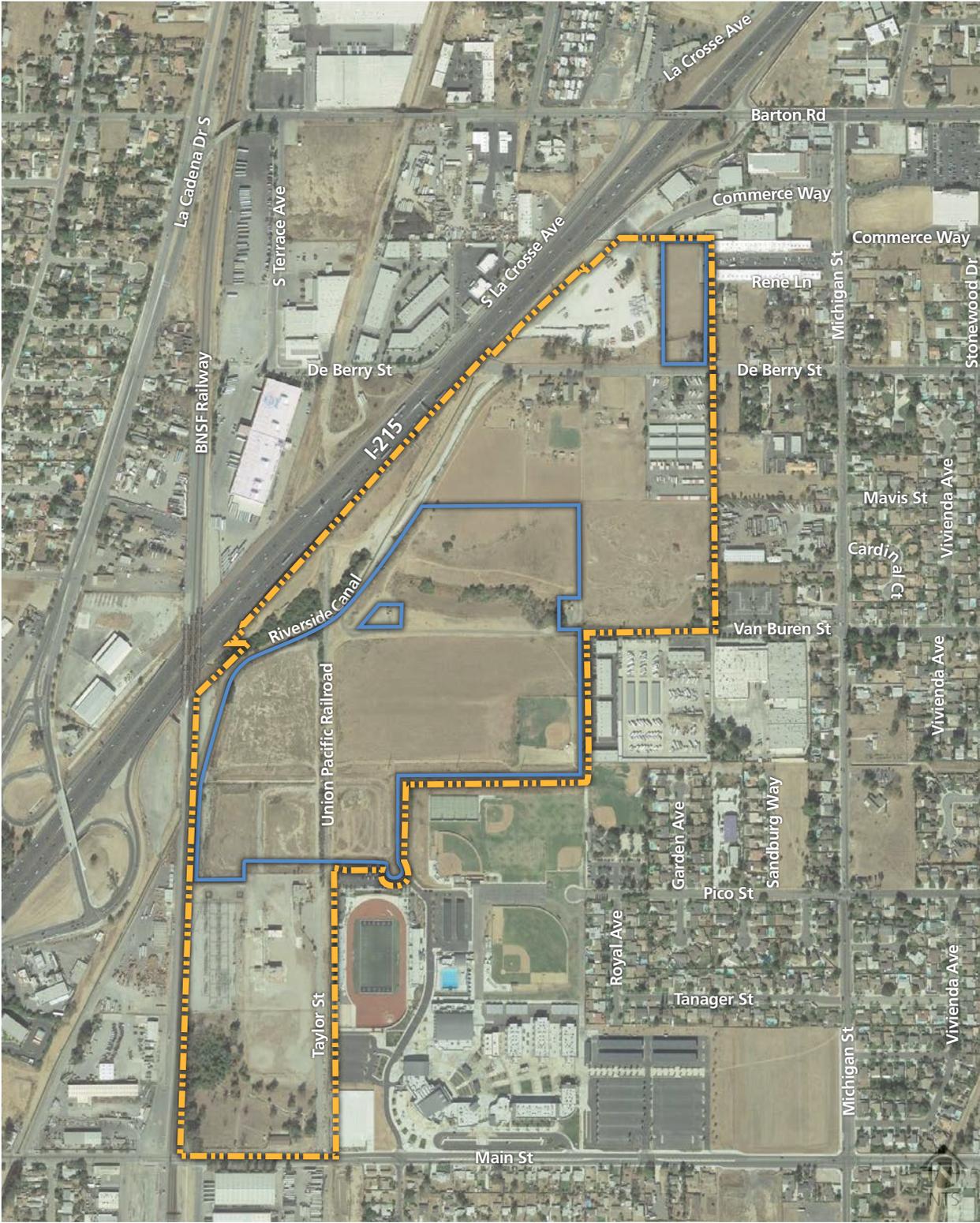


Figure 1.2: Existing Land Uses

The existing non-lighted ball field north of Veterans Freedom Park is proposed to be relocated to a site west of Taylor Street. An existing SCE substation located on the west side of the Specific Plan area will remain in addition to the SCE power lines that cross the Specific Plan north of the substation. Riverside Canal Power Company owns the property where the decommissioned power station was located. Two billboard signs adjacent to the freeway will remain. There are eight residences scattered throughout the Specific Plan area.

The I-215 borders the Specific Plan area on its northwesterly side. The Burlington Northern Santa Fe (BNSF) railway borders the southwestern side with industrial uses located across the railroad line. To the north are industrial land uses along Commerce Way and north of Rene Lane. To the east are single family homes, storage facilities, Grand Terrace High School and the Veteran's Freedom Park. To the south, in the County of Riverside, is a storage yard.

## 1.6 General Plan

The City of Grand Terrace General Plan is a document comprised of eight elements and is required by state law to serve as a guide to the long-term physical development of the City. As such with this Specific Plan, all specific plans are required to be consistent with the General Plan. The City's General Plan designates the Specific Plan area as Mixed Use and Industrial. Refer to Figure 1.3: Grand Terrace General Plan Map. The Mixed Use land use allows for multiple uses that may include residential, commercial, business park, open space and recreation. Compatible uses may be placed horizontally or vertically on the site. All Mixed Use projects are required to submit a Specific Plan or Planned Development to demonstrate compatibility between the proposed uses as well as buffering from adjacent properties. The Industrial land use allows light industrial uses that are also compatible with surrounding uses. Densities may not exceed those of the residential, commercial and industrial designations of the General Plan and zoning.

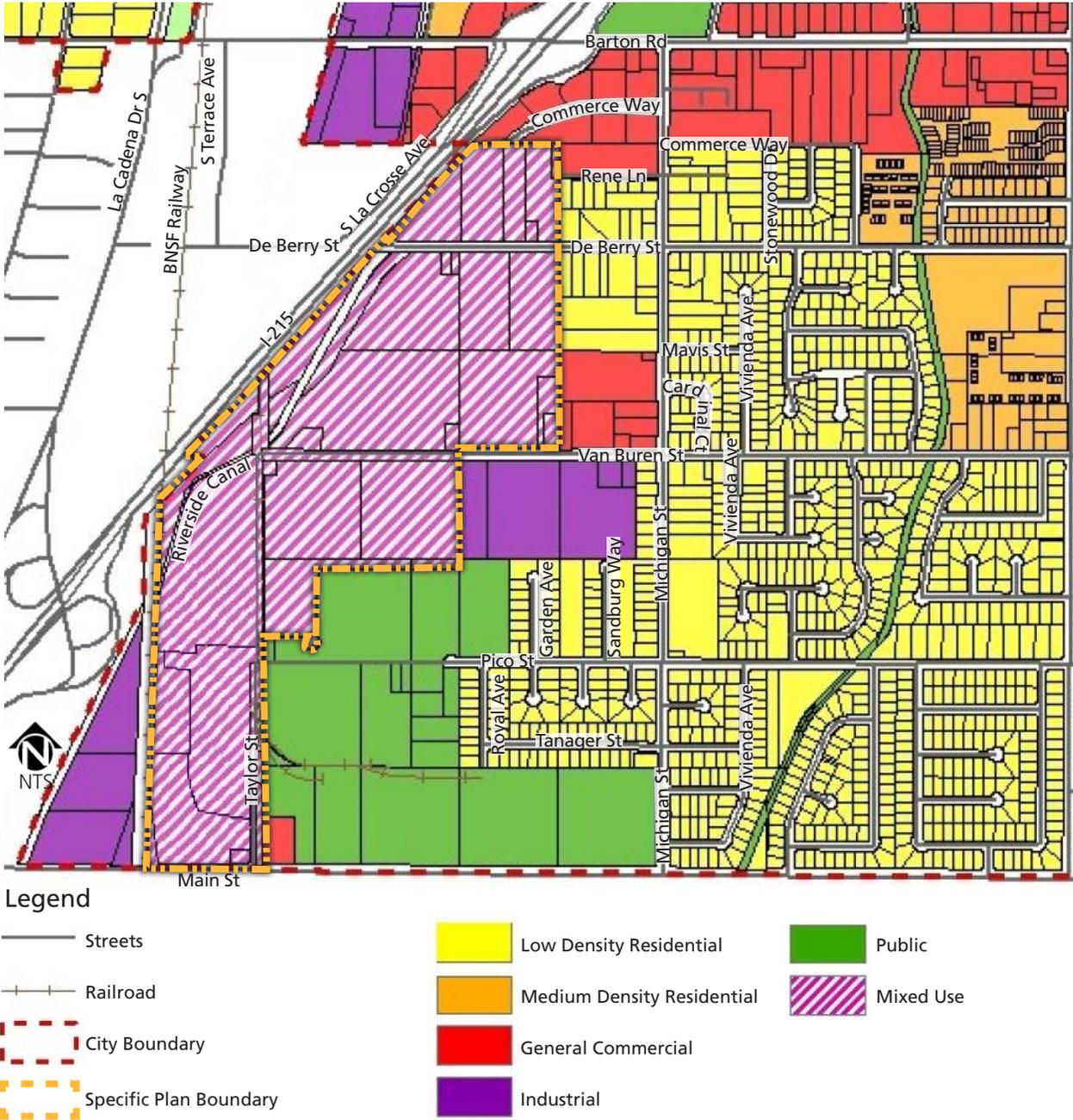


Figure 1.3: Grand Terrace General Plan Map

## 1.7 Zoning

The City of Grand Terrace Municipal Code (GTMC) sets the City's standards, guidelines, and procedures relating to the development and maintenance of all land uses within the City. The regulations implement the goals and policies of the General Plan while being consistent with the Land Use Plan designations. The zoning protects the physical, social and economic stability of City residents, businesses, and their property. It reduces or eliminates hazards to the public; and enhances the City's physical, social, and economic advantages through comprehensive land use and resource planning. The Zoning Map designates the property as Commercial Manufacturing (CM), Restricted Manufacturing (MR) and Industrial (M2). Through the Specific Plan process, these designations will be modified to conform to the General Plan and Specific Plan.

This Specific Plan implements a new zoning designation—Specific Plan (SP)—to implement a mixed-use development as set forth in this document. Under the Specific Plan designation, the land use plan, policies development standards and design guidelines provide the site-specific requirements for future development within the area. The Specific Plan designation allows design flexibility to attain superior quality and excellence in design, sustainability, architecture and site amenities. Refer to Figure 1.4: Grand Terrace Zoning Map.

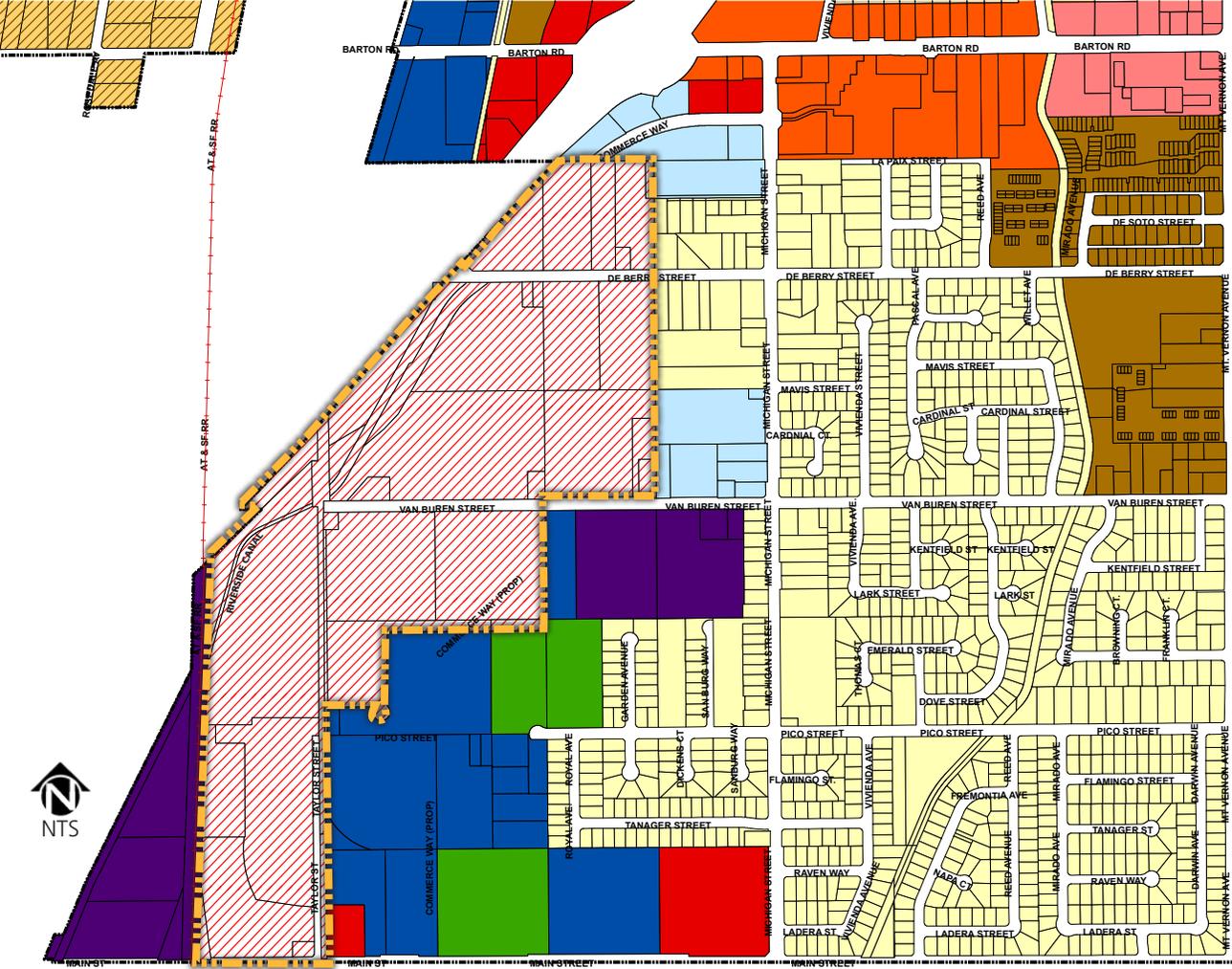


Figure 1.4: Grand Terrace Zoning Map

## 1.8 Planning Areas

Each of the existing parcels has been assigned a Planning Area number for ease of reference. Refer to Figure 1.5 Planning Areas. The Planning Area (PA) numbers have been correlated with the property ownership in Appendix A. It is anticipated that as development occurs, some of these parcels may be consolidated and parcel boundaries may be redefined.

## 1.9 Specific Plan Authority

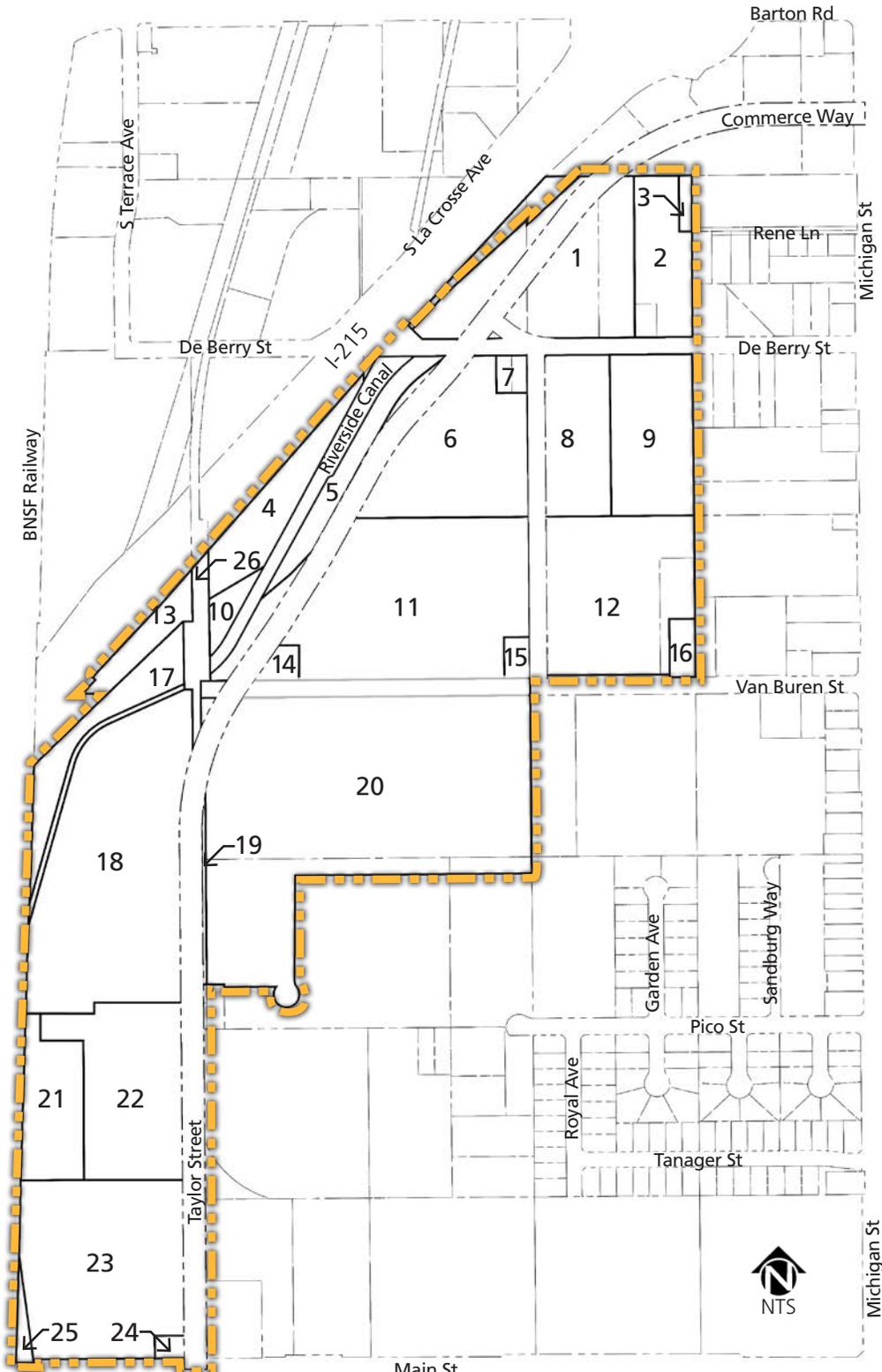
California Government Code Sections 65450 through 65457 grant authority to the City of Grand Terrace to prepare and adopt this Specific Plan for the purpose of implementing goals and policies of the Grand Terrace General Plan.

Upon adoption, this Specific Plan will serve as the zoning for the properties involved. It establishes the necessary plans, development standards, regulations, infrastructure requirements, design guidelines and implementation programs on which subsequent project-related development activities are to be founded. It is intended that Site and Architectural Review, grading permits and building permits, or any other action requiring ministerial or discretionary approval applicable to this area be consistent with this Specific Plan. Some elements of the development program may be enforced through conditions, covenants and restrictions (CC&Rs) established in conjunction with the subdivision maps for the property.

## 1.10 California Environmental Quality Act (CEQA) Compliance

An Environmental Impact Report (EIR) (State Clearinghouse No. 2017XXXXXX) was prepared and certified by the City of Grand Terrace for this Specific Plan in accordance with CEQA that addressed potential impacts associated with development under the Specific Plan.

All subsequent approvals to develop the property must be consistent with the Specific Plan and associated environmental documents. Additional environmental documentation will be required in the future if significant changes are found to have occurred pursuant to Section 15162 and 15182 of the CEQA guidelines.



**Legend**  
Specific Plan Boundary

Figure 1.5 Planning Areas

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# CHAPTER 2

## ZONING AND DEVELOPMENT STANDARDS

### 2.1 Zoning and Development Standards

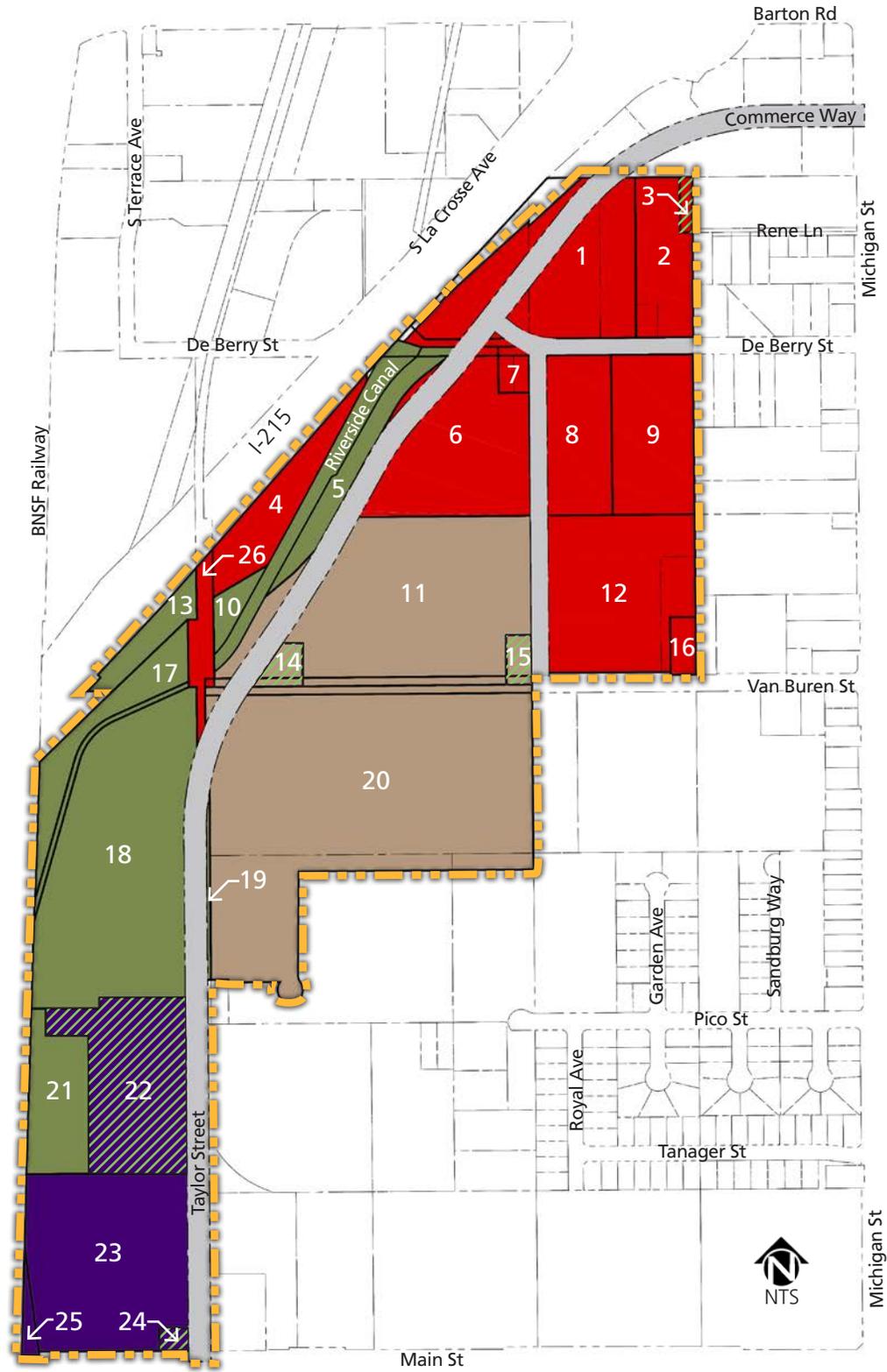
This Specific Plan is a regulatory document and serves as the zoning for all properties within the Specific Plan area. In addition to the development standards and design guidelines contained in the Specific Plan, properties within the Specific Plan area are subject to applicable regulations of the Grand Terrace Municipal Code, such as general provisions and processing requirements. Definitions are the same as in the City's Zoning Code. To the extent any regulation in this Specific Plan conflicts with the City's Zoning Code, the regulation set forth herein shall prevail.

#### 2.1.1 Land Use Plan

The Specific Plan land uses shown on Figure 2.1: Land Use Plan allow for and encourage a mix of commercial, industrial, residential and public facility uses at the gateway to the City of Grand Terrace. The Specific Plan provides for a more urban development pattern with a mix of higher density residential and non-residential uses in a pedestrian-friendly setting. The Plan is intended to provide unique and engaging experiences that offer convenient access to activities, public spaces and services.

# The Gateway

AT GRAND TERRACE SPECIFIC PLAN



**Legend**

- Specific Plan Boundary
- Public Facilities
- Roads
- Residential
- Commercial
- Business Park
- Public Facilities Overlay

Figure 2.1: Land Use Plan

# CHAPTER 2: ZONING AND DEVELOPMENT STANDARDS

## 2.2 Maximum Development

The maximum development permitted within the Specific Plan area is established in Table 2.1: Maximum Development.

Table 2.1: Maximum Development

Planning Area	Gross Acres	Dev. Acres	Max FAR	Max Dev. SF	Res. Density (du/gross ac)	Total # units
1	8.22	6.4	0.35	97,574.40	—	—
2	3.00	3	0.35	45,738.00	—	—
3	0.25	0.09	0.35	3,920.40	—	—
4	2.80	—	—	—	—	—
5	1.90	0.03	—	—	—	—
6	7.97	6.42	0.35	97,879.32	—	—
7	0.40	0.4	0.35	6,098.40	—	—
8	4.65	3.68	0.35	56,105.28	—	—
9	4.65	4.65	0.35	70,893.90	—	—
10	0.62	0.62	—	—	—	—
11*	13.7	12.38	—	—	20	234
12	8.64	7.7	0.35	117,394.20	—	—
13	1.26	1.26	.035	—	—	—
14	0.58	0.4	—	—	20	8
15	0.37	0.368	—	—	20	7
16	0.52	0.52	0.35	7,927.92	—	—
17	2.51	—	—	—	—	—
18	14.75	1.07	—	—	—	—
19	0.37	0.15	—	—	—	—
20*	23.83	23.37	—	—	20	466
21	3.10	—	—	—	—	—
22	6.69	6.69	0.50	145,708.20	—	—
23	9.87	9.6	0.50	209,088.00	—	—
24	0.25	0.23	0.50	5,009.40	—	—
25	0.33	0.16	0.50	7187.4	—	—
26	2.92	1.09	—	—	—	—
Van Buren Street	1.94	1.66	—	—	20	33
De Berry Street.	1.95	0.46	0.35	7,013.16	—	—
Taylor Street	1.19	—	—	—	—	—
Riverside Can	2.45	—	—	—	—	—
<b>Total Area</b>	<b>131.68</b>	<b>113.998</b>	—	<b>877,537.98</b>	—	<b>748</b>

\* Acreage does not include the area west of Commerce Way/Taylor Street

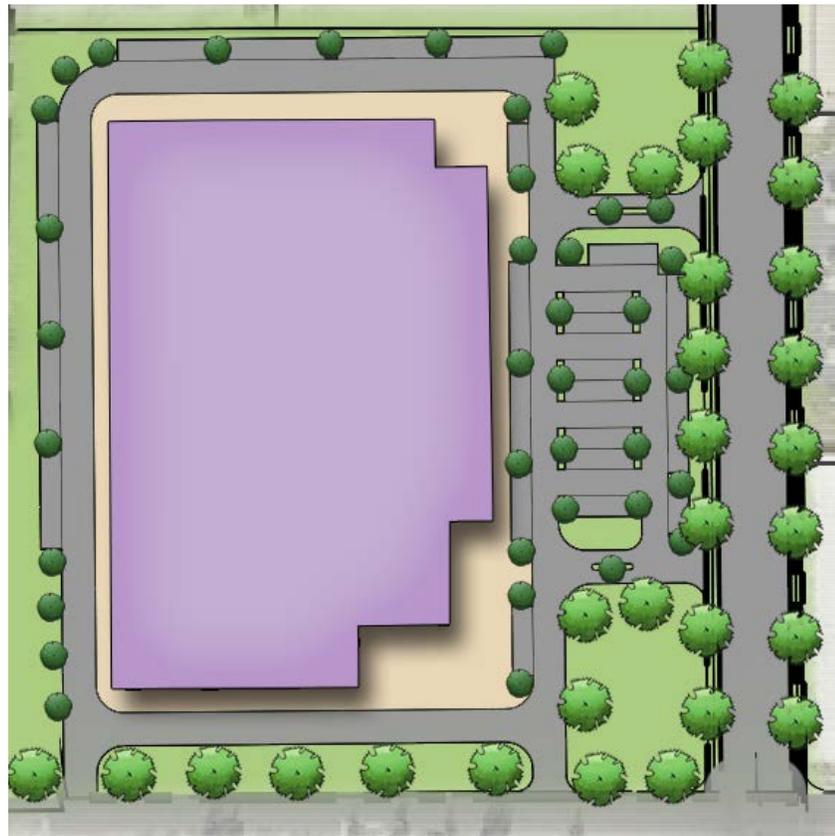
## 2.3 Land Use Descriptions

Four types of lands uses are allowed within the Specific Plan:

- Commercial,
- Business Park,
- Residential, and
- Public Facilities.

### 2.3.1 Business Park Uses

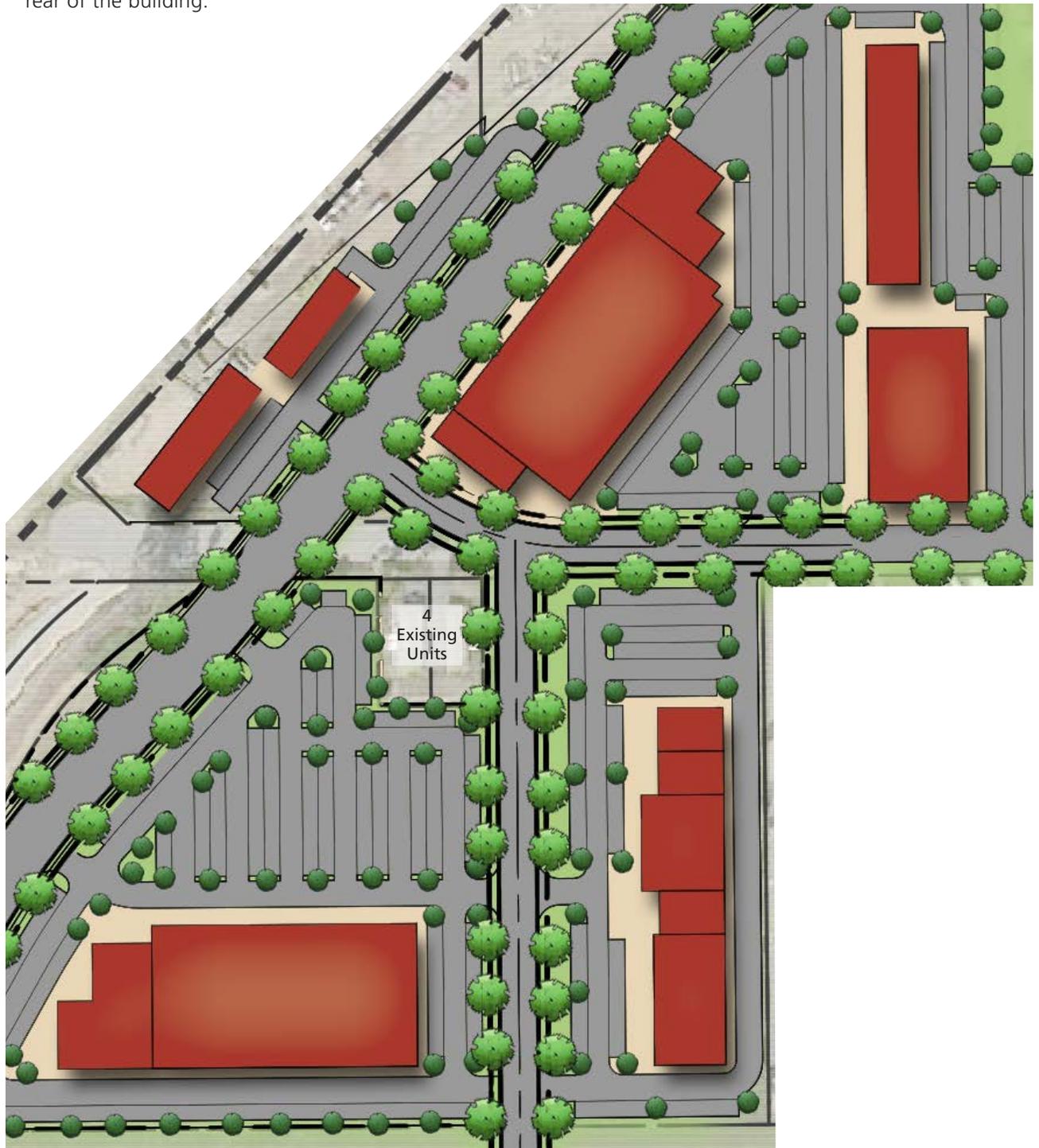
The Business Park land use designation allows for the development of uses at the southern portion of the Specific plan area.



*Conceptual Business Park Layout*

### 2.3.2 Commercial Uses

The Commercial land use designation allows for job-producing uses such as retail, eating and drinking establishments, services and offices that are desirable to the community and freeway-generated consumers. A landscape setback is required along all public streets. Parking can be located in front, to the side or to the rear of the building.



*Conceptual Commercial Layout*

## 2.3.3 Residential Uses

The residential land use will contain a variety of housing types to create individual neighborhoods, provide architectural interest and housing choices. Permitted residential uses include duplexes, townhomes, stacked flats and supportive recreational amenities.



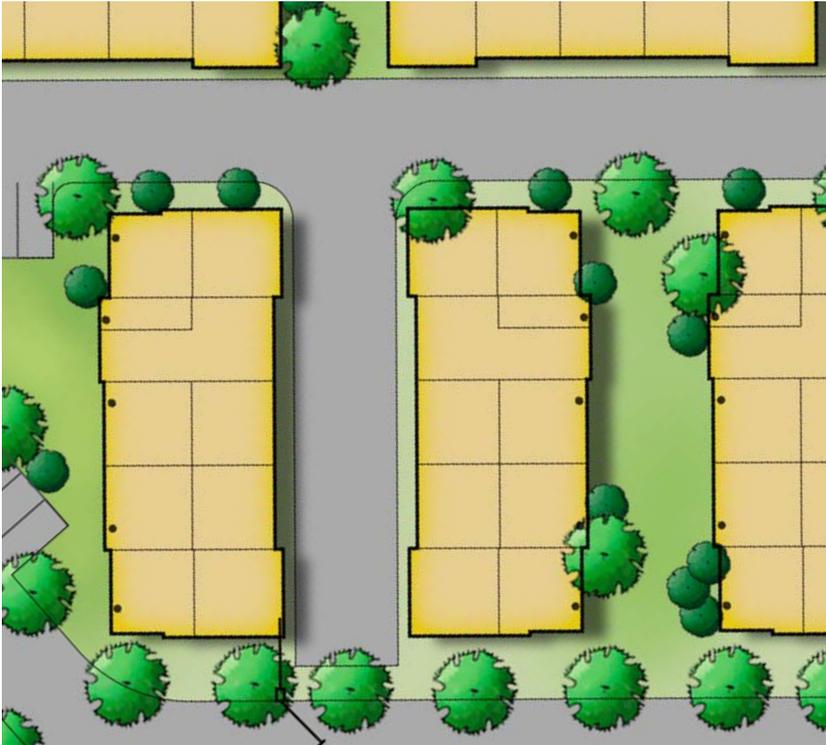
*Conceptual Duplex Home Layout*

### A. Duplex Homes

The duplex homes:

- Have the lowest density.
- Include front or side courtyards and entries along shared paseos.
- Limit garage door dominance on street scene by loading garages off of alleys.
- Provide visitor parking in neighborhood parking lots.

### B. Large Townhomes



*Conceptual Townhome Layout*

The large townhomes:

- Promote neighbor interaction and eyes-on-the-street by orienting front entries around shared paseos.
- Provide massing offsets to add architectural interest.
- Limit garage door dominance on street scene by loading garages off of alleys.
- Provide visitor parking in neighborhood parking lots.

## C. Tandem Garage Townhomes



*Conceptual Garage Townhome Layout*

### Tandem Garage Townhomes

- Provide a variety of floorplans in a narrower configuration.
- Promote neighbor interaction by orienting front entries around shared paseos.
- Limit garage door dominance on street scene by loading garages off of alleys.
- Provide visitor parking in neighborhood parking lots.

### D. Stacked Flats



*Conceptual Staked Flat Layout*

Stacked flats:

- Provide the highest density building type.
- Create articulation in street scene through front elevation offsets.
- Allow opportunities for smaller units.
- Limit garage door dominance on street scene by loading garages off of alleys.
- Provide visitor parking in neighborhood parking lots and/or on driveways in front of the garages.

## E. Private Recreation Area



*Conceptual Recreation Area Layout*

The clubhouse and recreational facilities will act as a “center” for the residential neighborhoods and exhibit a high level of quality design and attention to detail. The private recreation facility is sited for prime exposure and access to surrounding homes.

The private recreation area may include the following types of amenities:

- Plaza space that connect to sidewalks and pathways,
- Fitness area,
- Pool and spa,
- Community meeting rooms, and
- Management offices.

## 2.3.4 Public Facilities

Within the public facilities designation, there will be a public park and water infrastructure facilities.

### A. Public Park

The public park with separate softball and baseball fields will be provided along with an open field flexible enough to support two practice/AYSO soccer fields. A passive area shall be incorporated into the site for families and spectators to enjoy. A small tot lot within a tree lined “park-like” setting is encouraged as well as ball-field lights and a scoreboard. The restrooms and parking lot are sized appropriately knowing that, due to season and game time staggering, not all amenities will be used simultaneously.

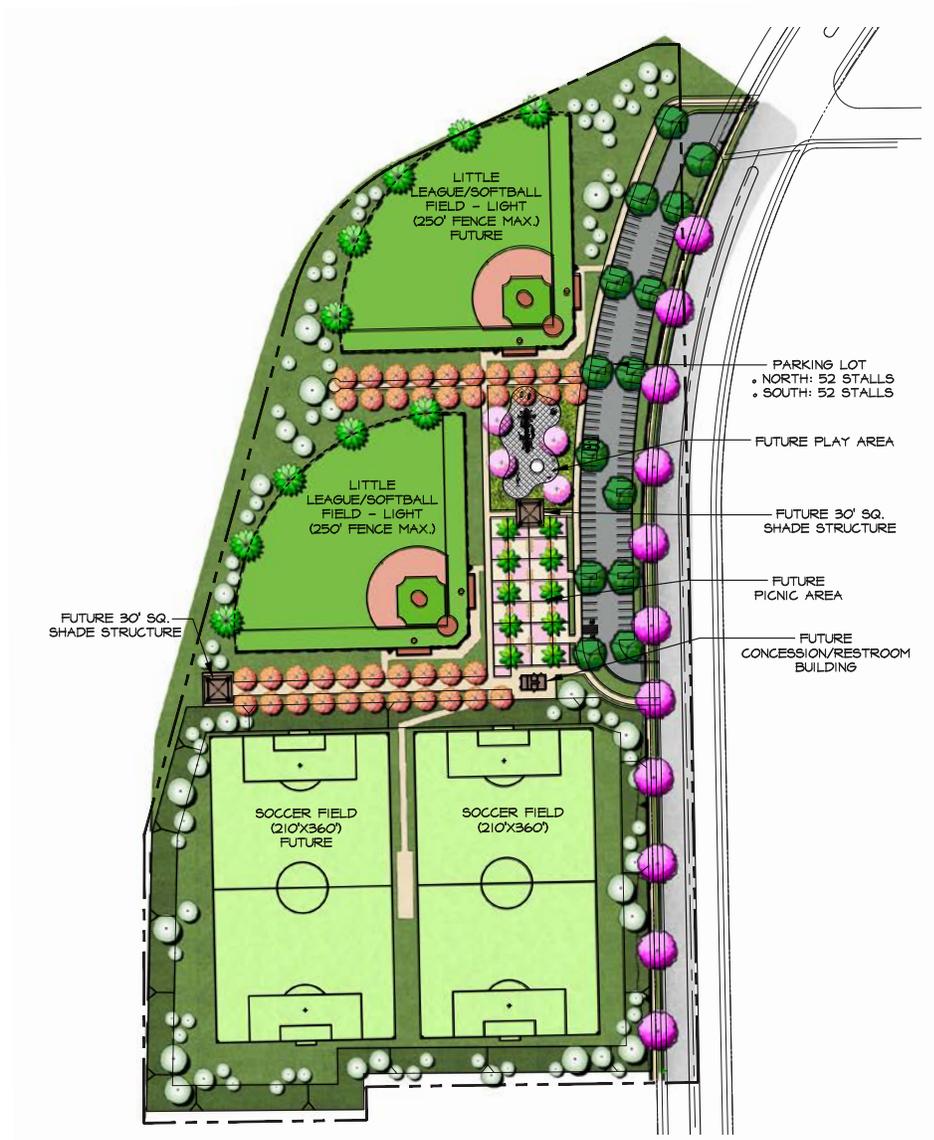


Figure 2.2 Conceptual Park Plan

## 2.4 Permitted Uses

Table 2.3: Permitted Uses establishes permitted and conditionally permitted land uses, activities and facilities throughout the Specific Plan area.

Table 2.3: Permitted Uses

Uses	C	R	PUB	BP
<b>Residential Uses</b>				
Single-family detached (small lot)		P		
Single-family attached (duplexes, triplexes and four-plexes)		P		
Multiple-family units (attached)		P		
Senior citizen housing		P		
<b>Residential Accessory Uses</b>				
Home occupation (Individual offices to be rented to existing residents for office use*)		P		
Keeping of cats and dogs (maximum of 2 each)		P		
Leasing office for apartments		P		
Residential community recreation facility		P		
Other accessory uses (as approved by the Planning Director)		P		
<b>Automotive related services (includes motorcycles, boats, recreational vehicles, trailers and campers)</b>				
Parts and supplies (in PA23 only), outside storage not permitted in this use	P			P
Rental agency	CUP			CUP
Sales (used vehicle sales, repair and maintenance activities only in conjunction with new dealers)	CUP			CUP
New tire sales	P/CUP**			P/CUP**
<b>Business Park</b>				
Automobile parts distribution (wholesale)	?			P
Bakeries (wholesale)				P
Laboratories, research and development facilities	P			P
Publishing and printing	P			P
Repair shop - small items (computers, small appliances, watches, etc) with incidental sales	P			P
Showroom	P/CUP**			P
<b>Eating and Drinking Establishments</b>				
Bars, cocktail lounges, nightclubs, live entertainment	CUP			CUP

C=Commercial PAs; R=Residential PAs; PUB=Public Facilities; BP= Business Park; P=Permitted; CUP=Conditional Use Permit

## CHAPTER 2: ZONING AND DEVELOPMENT STANDARDS

**Table 2.3: Permitted Uses**

Uses	C	R	PUB	BP
Catering	P			P
Microbrewery	CUP			CUP
Restaurants and other eating establishments, no drive thru	P			P
Restaurants and other eating establishments, with drive thru	P/CUP**			P/CUP**
Restaurants and other eating establishments, with alcoholic beverages	CUP			CUP
Restaurants and other eating establishments, with entertainment	CUP			CUP
<b>Medical</b>				
Clinics, urgent care	P			P
Medical laboratories	P			P
Medical/dental offices	P			P
Optician and optometric shops	P			P
<b>Office and Administrative Uses</b>				
Banks, finance services and institutions	P			P
Business and office services	P			P
Interior decorating firms	P			P
Realtors and real estate offices	P			P
Travel agencies	P			P
<b>Recreation/Entertainment</b>				
Amusement arcades	CUP			CUP
Auditoriums	CUP			CUP
Bowling centers	CUP			CUP
Indoor fitness and sports facilities (health clubs, gymnasiums, fitness centers)				
4,000 square feet or less	CUP			
Greater than 4,000 square feet				
Movie theaters	CUP			CUP
Museums	P			P
Music, exercise and dance studios	P			P
<b>Retail Commercial Uses</b>				
Antique shops	P			P
Apparel stores	P			P
Appliance stores and repair	P			P
Art, music and photography supply stores	P			P

C=Commercial PAs; R=Residential PAs; PUB=Public Facilities; BP= Business Park; P=Permitted;  
CUP=Conditional Use Permit

**Table 2.3: Permitted Uses**

Uses	C	R	PUB	BP
Bakeries	P			P
Building materials, garden equipment and supplies (outside storage requires CUP)	P/CUP			P/CUP
Convenience stores	CUP			CUP
Costume design studios	P			P
Day care centers (child or adult)	CUP			CUP
Drug stores and pharmacies	P			P
Electronic and appliance stores	P			P
Farmers markets	P			P
Food and beverage stores	P			P
Furniture and home furnishing stores	P			P
General merchandise stores	P			P
Health and personal care stores and services	P			P
Hardware stores	P			P
Hobby and craft shops	P			P
Household goods	P			P
Hotels	P			P
Jewelry stores	P			P
Leather goods and luggage stores	P			P
Liquor stores	P			P
Locksmiths shops	P			P
Mini-warehouses and self-storage units (permitted only in PA9)	P			P
Nurseries & garden supply stores within enclosed area	P			P
Nursing and residential care facilities	CUP			CUP
Office supplies with ancillary repair services	P			P
Pet shops	P			P
Schools, business & professional (including art, barber, beauty, performing arts)	CUP			CUP
Showroom	P/CUP**			P/CUP**
Smoke shops	CUP			CUP
Sporting goods stores	P			P

C=Commercial PAs; R=Residential PAs; PUB=Public Facilities; BP= Business Park; P=Permitted; CUP=Conditional Use Permit

## CHAPTER 2: ZONING AND DEVELOPMENT STANDARDS

**Table 2.3: Permitted Uses**

Uses	C	R	PUB	BP
Veterinary (domestic, no boarding)	P			P
<b>Personal Services</b>				
Barbers, hair salons, nail shops	P			P
Dry cleaners, tailor shops	P			P
Laundromats, self-service	CUP			
Message centers and PO boxes	P			P
Photography or portrait studio, by appointment only	P			P
Weight-reducing clinics	P			P
<b>Public and Quasi Public Uses</b>				
Government offices and facilities	P		P	P
Police and fire stations	P		P	P
Rail Transit Station			CUP	CUP
<b>Utilities</b>				
Distribution facilities including system lines and transformer stations	P		P	P
Water supply and irrigation systems	P		P	P
<b>Other Uses</b>				
Wireless telecommunications facilities	CUP		CUP	CUP
Other uses which are determined by the planning commission to be similar in nature to a use listed in this section;	P/CUP			P/CUP
<b>Temporary Uses</b>				
Mobile food services including food trucks (special event) - Special Event Permit				
Temporary uses which are determined by the Director not to have significant long-term impact on the environment. (Uses such as parking lot sales, Christmas tree sales, seasonal sales, rummage sales, and others with review through the land use approval or administrative site and architectural approval process in accordance with Chapter 18.63, Site and Architectural Review.)	P			P
Temporary construction offices (as approved by Director)	P	P	P	P
Outdoor displays/uses shall take place in front of business on site, which have been approved with a conditional use permit. Temporary special event permits will be required for display of associated balloons, banners and special event signs.	CUP			CUP
C=Commercial PAs; R=Residential PAs; PUB=Public Facilities; BP= Business Park; P=Permitted; CUP=Conditional Use Permit				

\*Offices as part of the clubhouse are permitted. However, residents will need a home occupation permit issued by the City of Grand Terrace to utilize a home office.

\*\*Use requires a CUP if adjacent to residential.

## 2.5 Prohibited Uses

Table 2.4: Prohibited Uses establishes land uses, activities and facilities throughout the Specific Plan area that are not allowed. All prohibited uses are prohibited in every land use designation.

**Table 2.4: Prohibited Uses**

Uses
Adult-oriented retail/exotic dance clubs
Ambulance services
Car washes
Check cashing services
Funeral parlors and crematory services
Marijuana sales and cultivation
Motels (temporary lodging with exterior doors and halls)
Outdoor storage for equipment or materials
Pawn shops
Recycling collection services
Tattoo and piercing parlors

## 2.6 Non-Residential Development Standards

All non-residential development within the Specific Plan area is subject to the development standards in Table 2.5: Non-Residential Development.

**Table 2.5: Non-Residential Development**

Standards	
Building Setbacks (Minimum linear feet)	
From Commerce Way/Taylor Street	15' building including 10' of landscape
From Main Street	15' building including 10' of landscape
From Connector Street	10' building setback within 10' landscape
Interior	0*
Other Requirements	
Height (minimum linear feet)	35
Plazas	One plaza or gathering space is required per parcel
Parking	1 parking space/4000 SF except that restaurants follow Chapter 18.60 Off-street parking of the Grand Terrace Municipal code
Bicycle Parking	Per CalGreen standards

**Table 2.5: Non-Residential Development**

Standards	
*Except when adjacent to a lot in an R zone, then 15 feet with at least 5 feet of landscape	

## 2.6.1 Signage

All community and gateway signage must be part of a sign program that meets the requirements of Chapter 18.80 of the Grand Terrace Municipal Code.

## 2.7 Residential Development Standards

All residential development is subject to the development standards in Table 2.6: Residential Development. Parking standards for residential uses are referenced in Table 2.7: Residential Parking Standards.

**Table 2.6: Residential Development**

Standards	
Building Setbacks (minimum linear feet)	
From Commerce Way/Taylor Street	15
From Connector Street	10
Private streets measured from curb	5
Encroachments (porches, patios)	5
Interior parcels	5
From a commercial property line	15' including 5' of landscape
Building separation	Per CBC/CRC (based on construction type and openings)
Other Requirements	
Density (units per gross acre)	20*
Height (maximum linear feet)	45
Lot coverage (maximum percent)	75**
Open space per dwelling unit (minimum square feet)	265
Private open space	Minimum 50 SF/dwelling unit
Public open space (common active and common passive)	Minimum 215 SF/dwelling unit

\* Measured over the gross area of the parcel(s).

\*\*Includes main and accessory structures, parking areas and covered patios. 25% of the total site shall be devoted to open areas such as landscaping lawn, outdoor recreational facilities, incidental to residential development, including swimming pools, tennis courts, putting greens, uncovered patios and walkways.

**Table 2.7: Residential Parking Standards**

Use	Standard
Required Unit Parking <sup>(1)</sup>	
Studio	1.3 spaces/unit, (may be an enclosed space)
1 Bedroom	
2 Bedrooms	
3 Bedrooms	2 spaces/unit (with 1 enclosed space)
4 or More Bedrooms	
Age-Qualified/Senior Units	1 space/unit
Required Guest Parking	
Residential	1 space/4 units <sup>(2)</sup>
Age-Qualified/Senior Units	1 space/10 units

(1) Tandem garage parking counts as 2 parking spaces for all residential densities and mixed use configurations.

(2) Parking space location does not have to be within 100 feet of dwelling unit; actual distance to be reviewed by the City.

## 2.8 Other Requirements for Commercial and Residential Land uses

### 2.8.1 Mechanical Equipment and Meters

Mechanical equipment and meters shall be visually concealed and designed to not detract from the architecture of a building. When possible, mechanical equipment for adjacent units should be arranged into groupings.

- Mechanical equipment (air conditioning/heating units, etc.) shall not be mounted on, or attached to, any sloped roof;
- When mounted on flat roofs, mechanical equipment shall be completely screened by parapet walls at least as tall as the equipment screened;
- Natural gas meters shall be grouped and screened behind walls or landscape;
- Electrical meters shall be ganged and located behind doors;
- Screen walls and electrical enclosures shall be designed integral to the project's architecture;
- Electrical transformers shall be screened per the utility company's specifications; and
- All fire risers and fire related plumbing shall be installed in a fire riser cabinet or meter cabinet.



### 2.8.2 Trash Enclosures

Where appropriate, provide trash enclosures to accommodate the numbers and types of trash containers needed. These enclosures shall be positioned in convenient areas.

- Construct trash enclosures in a style and wall finish that is consistent with the overall architectural character of the development;
- Equip trash enclosures with complementary gates of durable construction, hinged to self-supporting steel posts and a covered structure overhead;
- Ensure trash enclosure area has safety lighting; and
- Provide three-foot wide planter buffer between structure and parking stalls.



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# CHAPTER 3

## INFRASTRUCTURE AND SERVICES

An extensive infrastructure master-planning process for sewer, water, storm drainage and traffic facilities to meet the demands of future development has been completed. The Specific Plan implements these master plans with specific on-site construction of infrastructure as noted. Public services are also discussed in this Chapter.

## 3.1 Regional Transportation Services

OmniTrans operates public bus services throughout the San Bernardino urban area and contracts with Riverside Transit Agency (RTA) to provide service within Grand Terrace. RTA operates Route 24, which runs through the City along Michigan Street and Barton Road. Route 24 has stops approximately one-quarter of a mile east of the Specific Plan at Michigan Avenue and Van Buren Street and Michigan Avenue and DeBerry Street. This route connects Grand Terrace to downtown Riverside, Loma Linda University and the Jerry Pettis Veteran’s Hospital in Loma Linda. Bus service is also provided through a dial-a-ride service. The closest Metrolink stations are located in the cities of San Bernardino and Riverside.

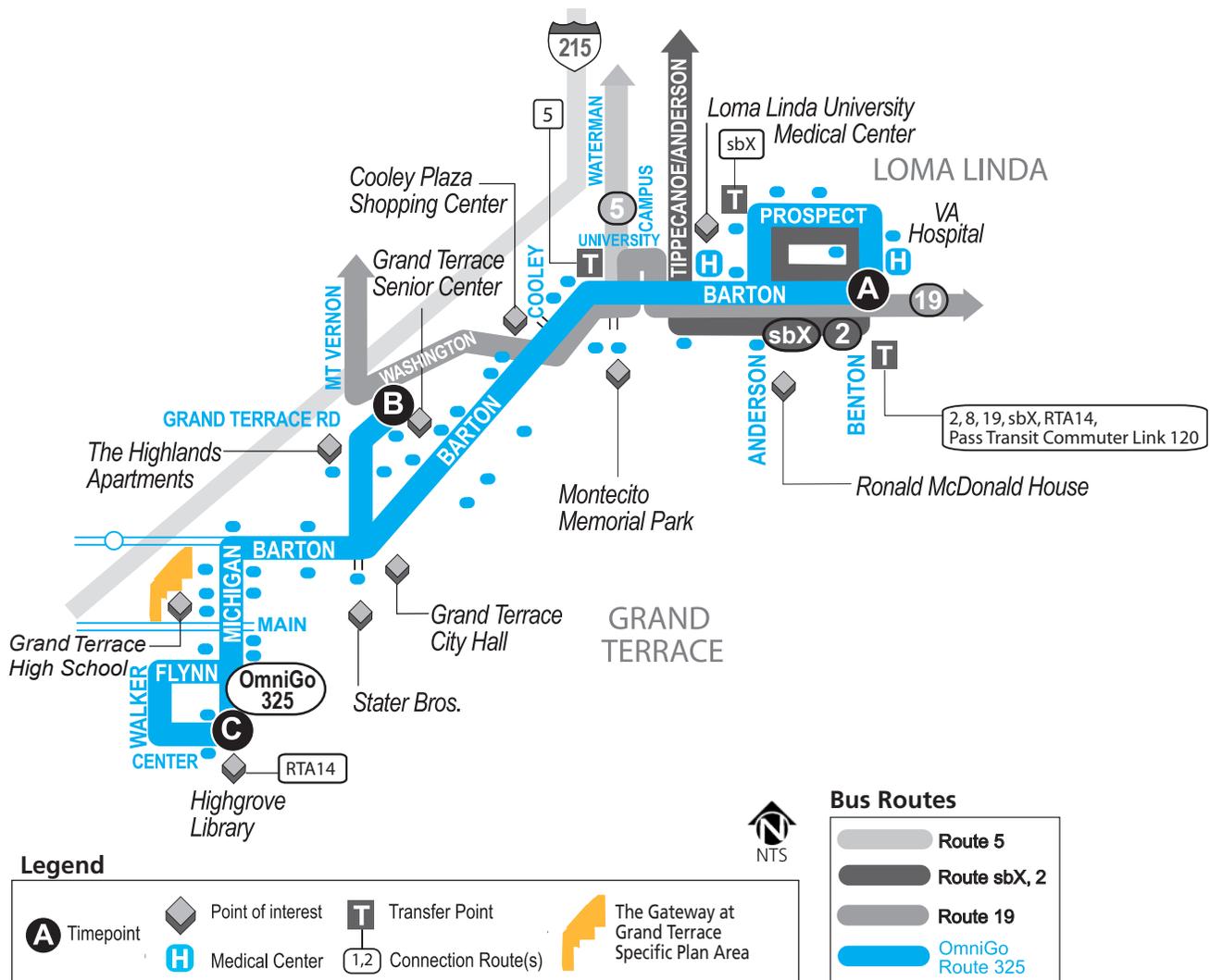


Figure 3.1: Transit Plan

### 3.2 Circulation

#### 3.2.1 I-215 Barton Road Interchange Project

The I-215 Barton Road Interchange improvement project, located outside the Specific Plan area, started in the Fall of 2017 and will conclude in 2020. The project is fully funded from State and Federal Highway funds. A key traffic feature is the round-about on the west end of Barton Road for southbound traffic exiting and merging onto I-215. In addition, the bridge will expand to four lanes. Michigan Street will end in a cul-de-sac and Commerce Way will be extended from Michigan Street to the intersection of Barton Road and Vivienda Avenue. Refer to Figure 3.2: Barton Road I-215 Interchange Project Plan.

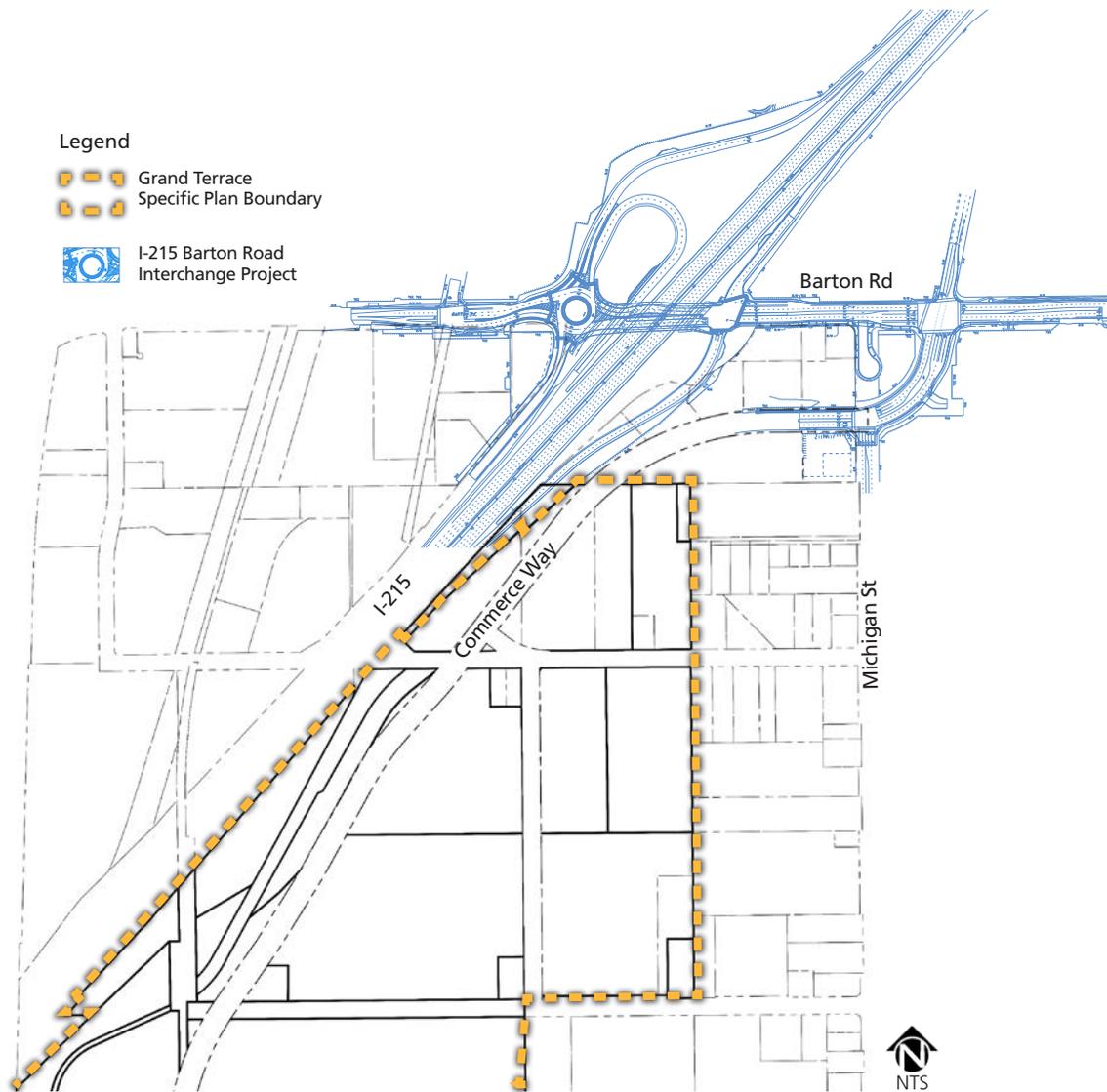


Figure 3.2: Barton Road I-215 Interchange Project Plan

## 3.2.2 Specific Plan Circulation

The circulation plan for the Specific Plan improves local circulation and provides for new development. The Plan also reinforces a pedestrian-friendly environment. New Class II on-street bike lanes, sidewalks and streets connect the mixed-use areas with the residential neighborhoods, parks and schools. Refer to Figure 3.3: Conceptual Circulation Plan for the location of these streets. Additionally, private streets and alleys will provide circulation within the residential communities. The alignment of these internal streets and alleys will be established as part of the tentative map approval.

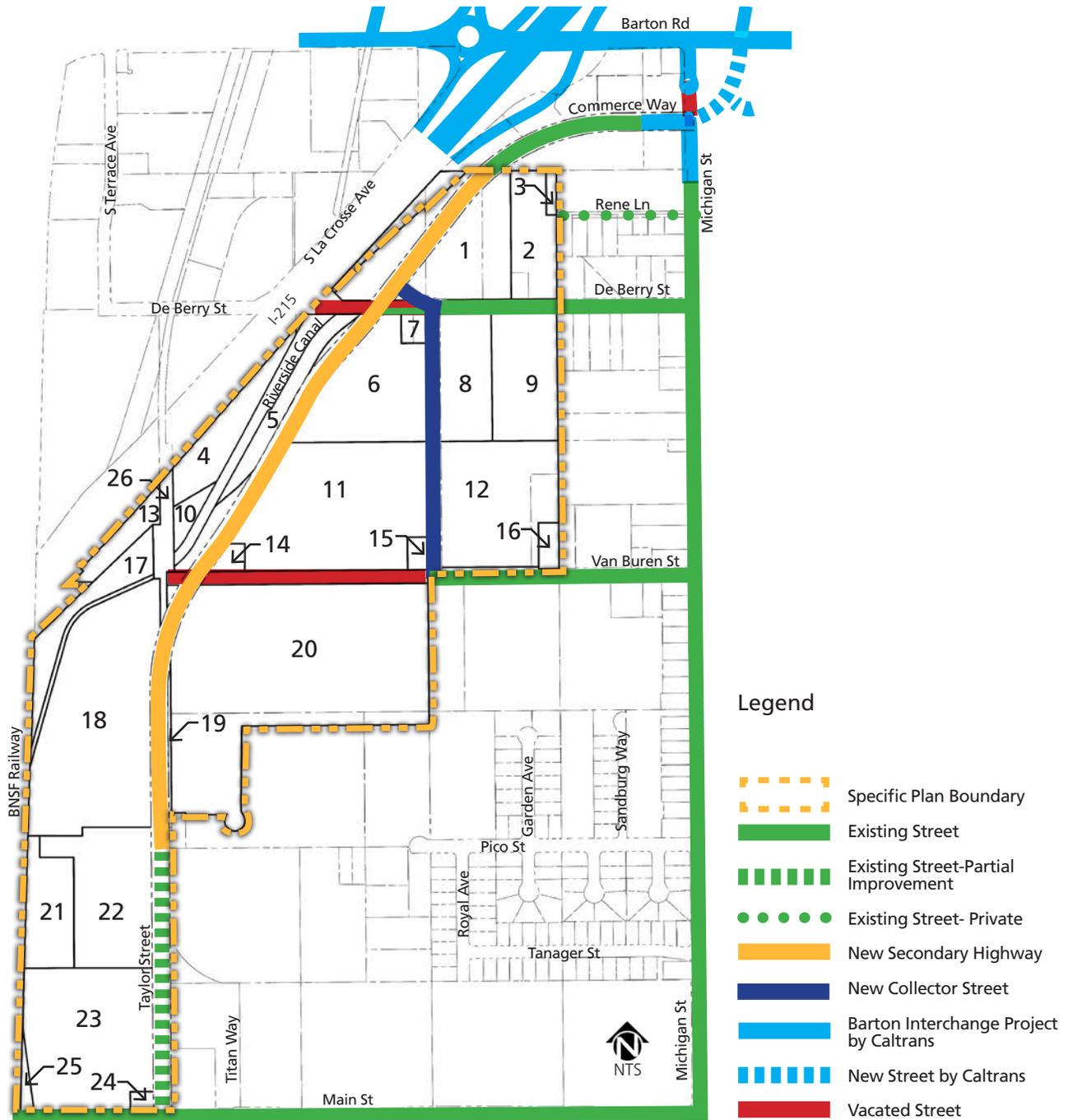
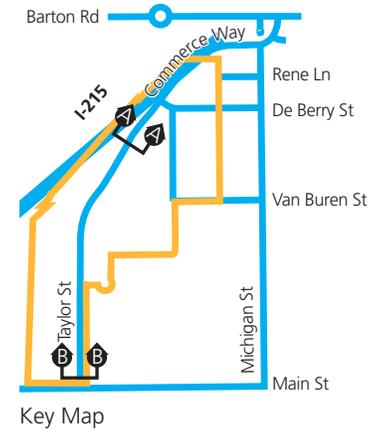


Figure 3.3: Conceptual Circulation Plan

## A. Commerce Way/Taylor Street

At part of the Specific Plan, Commerce Way will be extended from its new connection at Barton Road south to Taylor Street and then connecting to Main Street. Commerce Way/Taylor Street will be the main entry to the Specific Plan area, as well as leading into the City of Grand Terrace. A landscaped median and entry monumentation will be located at Main Street and Commerce Way/Taylor Street providing a sense of arrival into the City and the Specific Plan area. At the southern end of Commerce Way/Taylor Street, the eastern sidewalk will be eliminated. A sidewalk will exist on the west side of the street.



Commerce Way/Taylor Street is a secondary highway that runs northeast near the I-215. Commerce Way/Taylor Street will include a landscaped median, Class II on-street bike lanes with landscaped parkways and sidewalks. Additional landscaped setbacks will be provided. By providing another entry into the City, this new roadway will alleviate traffic from Michigan Street and allow commercial vehicles to travel on a new, wider, four-lane road, constructed to accommodate increased commercial and passenger vehicles.

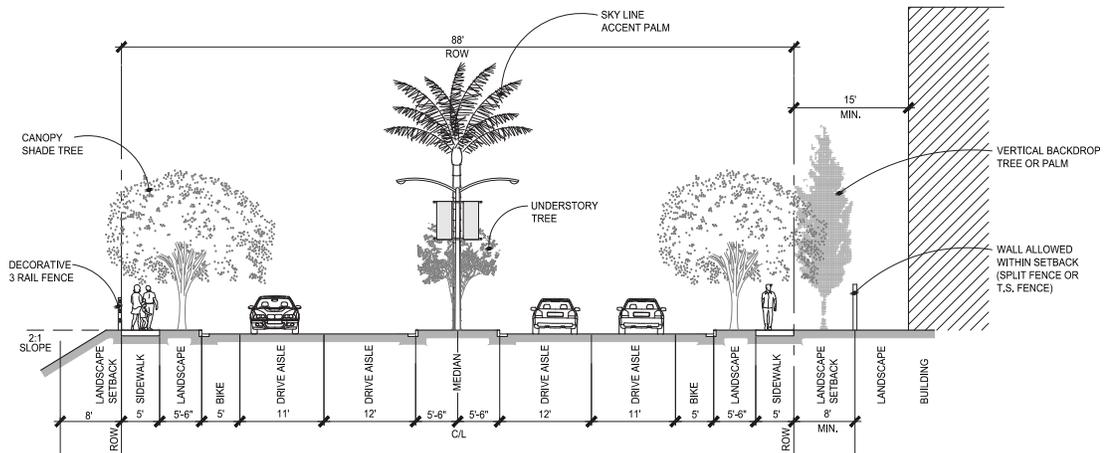


Figure 3.4a: Commerce Way/Taylor Street Cross Section A-A

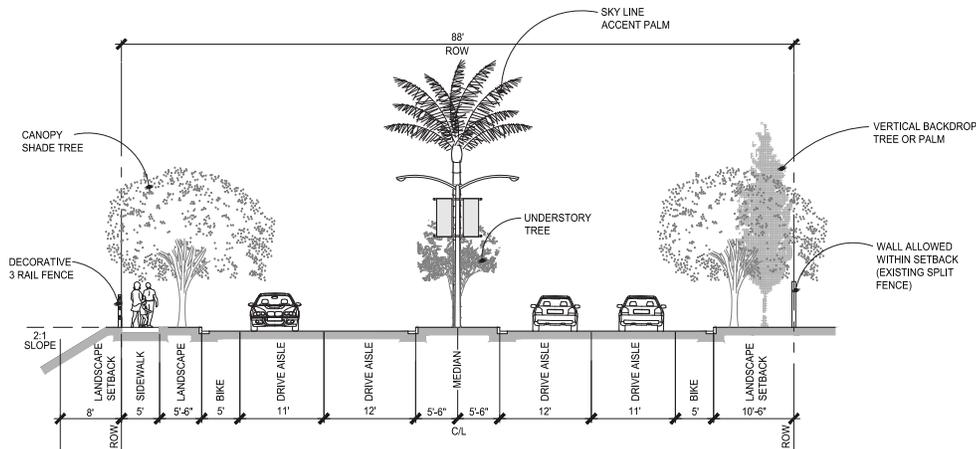
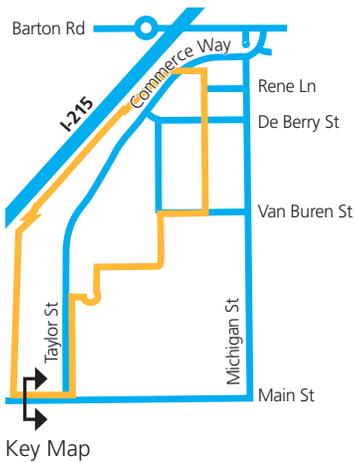


Figure 3.4b: Commerce Way/Taylor Street Cross Section B-B

# The Gateway

AT GRAND TERRACE SPECIFIC PLAN



The City will utilize Measure I, Major Road Funds to assist with the construction of this extension, receiving a 60% match from San Bernardino County Transportation Agency (SBCTA). The City will then cover the remaining 40% of the estimated road improvement cost of approximately \$4,000,000 for Commerce Way/Taylor Street north of the residential planning areas. Only existing roads from developed parcels will have improvements, undeveloped parts will only have paved roads without parkway improvements.

## B. Main Street

Main Street is considered a Secondary Highway that has an 88-foot wide right-of-way. A curb does exist within the right-of-way, however there are presently no sidewalks or gutters within the Specific Plan boundary. A ten-foot additional dedication is needed at Planning Area 26.

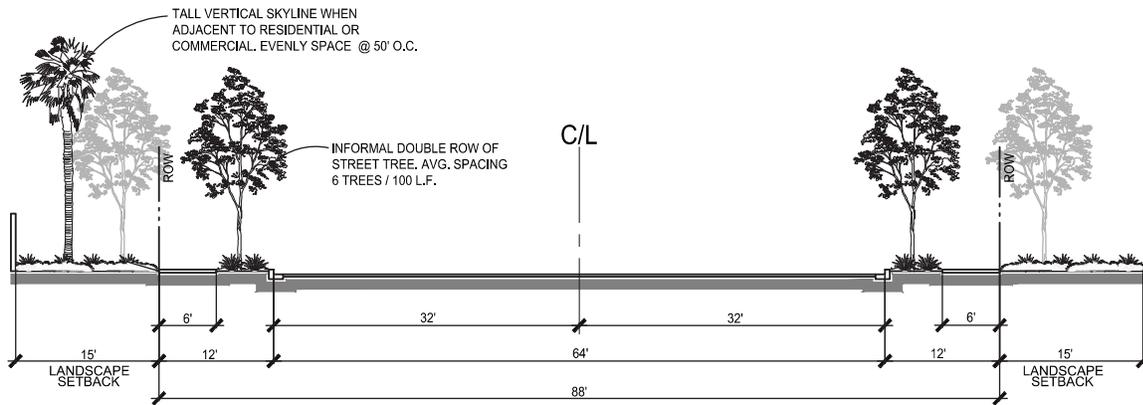


Figure 3.5: Main Street Cross Section

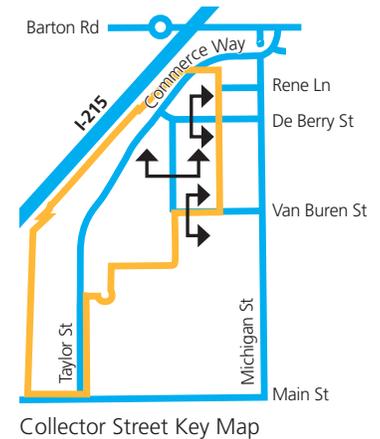
## C. New Collector Street

The next level of streets in the circulation network are Collector Streets. The cost of this infrastructure will be appropriately divided among the property owners within the Specific Plan area. Collector Streets provide secondary connections to streets through the Specific Plan area and provide additional pedestrian sidewalk connections. Features of Collector Streets include:

- Only driveways for parking lots take direct access from the street; and
- On street parking in a parallel configuration.

A new collector street will need to be constructed between planning areas west of PA8 and PA12 as shown on Figure 3.3: Conceptual Circulation Plan.

This street will be a 66-foot wide with two lanes of travel (one in each direction), on-street parking with a six-foot wide landscape parkway and a five-foot wide sidewalk. Refer to Figure 3.6: Cross Section for Collector Streets.



## D. De Berry Street

De Berry Street is 66-foot wide collector street. There is no dedication needed and curbs exist in various locations. Within the Specific Plan area the street will need curb, gutter and sidewalk except at PA9. If necessary, portions of De Berry Street within the Specific Plan area may be vacated and the land distributed as appropriate.

## E. Van Buren Street

Van Buren Street is also a 66-foot wide collector street. There is no dedication required (some properties have a bigger right-of-way than required). The south side of the street has a curb and sidewalk. The north side needs a curb, gutter and sidewalk within the Specific Plan area. The portion of Van Buren Street north of PA20 will be vacated and become part of the planned residential development. Utility easements will be created within the vacated right-of-way to preserve existing and locate new infrastructure.

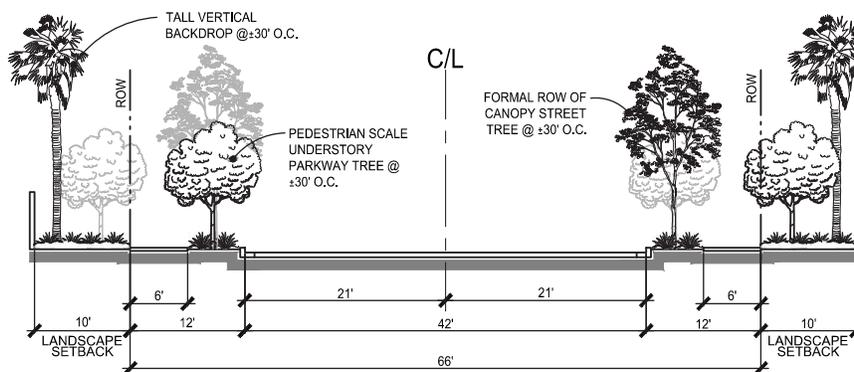


Figure 3.6: Cross Section for Collector Streets

## 3.3 Storm Drainage

The site is traversed by three major drainage courses. The northern drainage course enters the site at the westerly end of De Berry Street. It then travels in a southwesterly direction and enters the San Bernardino County Flood Control District (SBCFCD) channel that eventually directs flows off-site under Interstate 215. The second drainage course enters the Specific Plan area on the north side of Van Buren Street near the easterly edge of PA11. These storm water flows travel west and join the SBCFCD channel at the western edge of the Specific Plan area. A portion of this drainage course has been identified as a possible wetlands area. The third drainage course enters the Specific Plan area through the existing school near the southeasterly edge of PA20. The westerly terminus of Pico Street overflows with storm water during large storm events and the storm water travels through the existing school site towards Taylor Street and ultimately joins the SBCFCD channel at the western edge of the Specific Plan area.

The off-site tributary area consists of a water shed of approximately 32,320 acres including the majority of the City of Grand Terrace. All flows are directed to the low point within the Specific Plan area. Ultimately, drainage from the Specific Plan flows to the Santa Ana River.

Drainage improvements will be constructed through the Specific Plan site. Figure 3.7: Conceptual Storm Drain Plan shows the existing and proposed drainage facilities. The proposed facilities include an up-sized 96-inch reinforced concrete pipe (RCP) within Van Buren Street to alleviate existing drainage and flooding issues off-site from Michigan Street and Van Buren Street and discharge it into the existing natural drainage area.

Additionally, the existing 48-inch RCP that begins at the westerly end of Pico Street and ends at the southeasterly edge of PA20 will be extended with a trap channel and a 60-inch RCP to control the overflow of storm water coming from the existing school site. An approximate 50-acre-foot basin is also proposed within PA18 to mitigate drainage flows from the southwestern portion of the City outside of the Specific Plan boundary.

All proposed site-specific drainage improvements will need to be developed and analyzed as the projects are developed and entitled. All site drainage continues to ultimately discharge at the existing low point of the Specific Plan area and then under Interstate 215. All proposed improvements would be constructed to the requirements of the City of Grand Terrace and the SBCFCD.

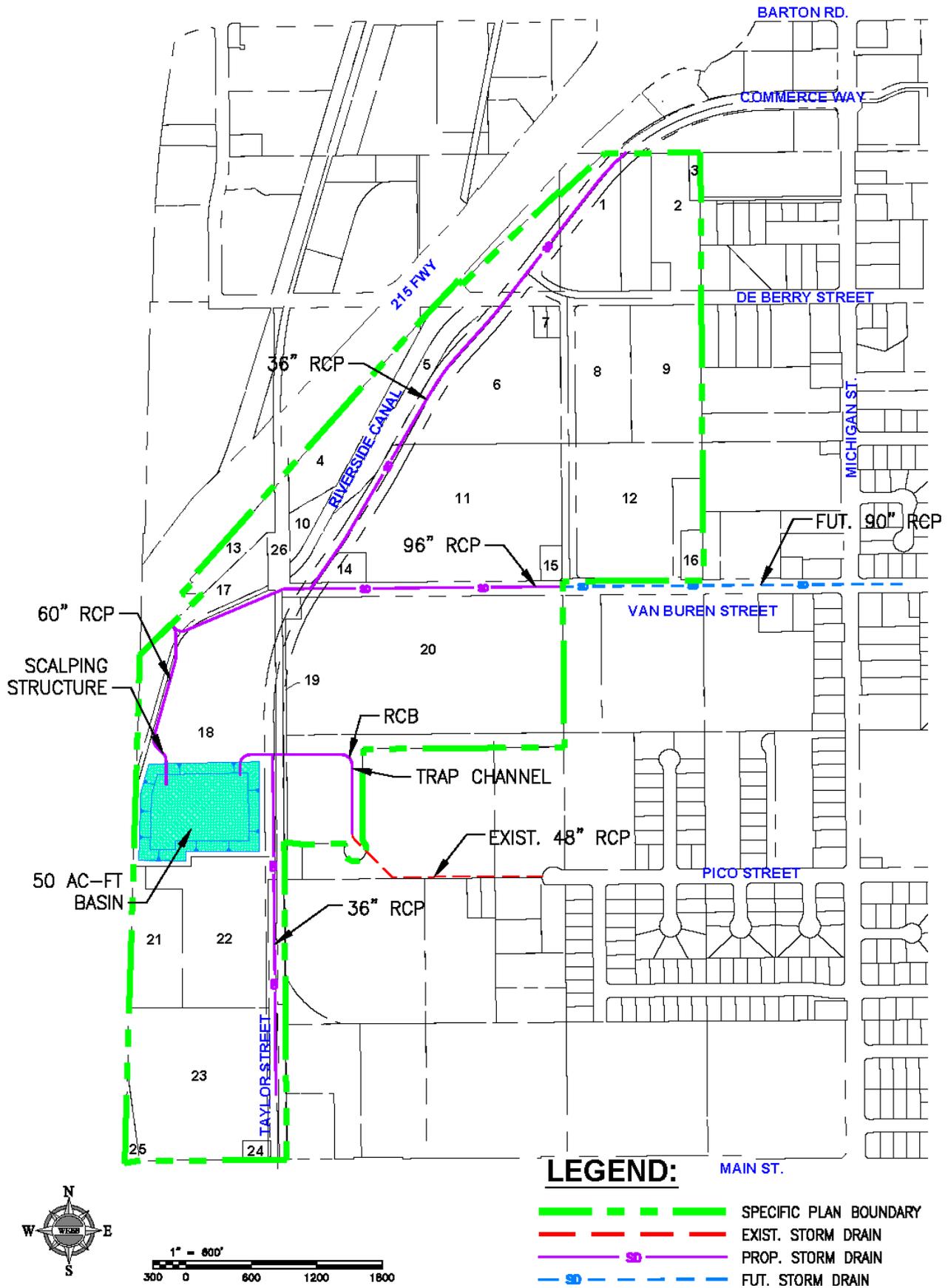


Figure 3.7: Conceptual Storm Drain Plan

### 3.4 Sewer

Sanitary sewer service is provided by the City of Grand Terrace through various agreements between the Cities of Grand Terrace and Colton. The City of Colton leases and maintains the sewer lines and treats the wastewater. Figure 3.8: Existing Sewer Plan shows the existing sewer facilities.

City wastewater is conveyed in sewer pipelines ranging in diameter from eight to eighteen inches that direct flows to the west. An existing 10-inch diameter sewer pipelines traverses the Specific Plan area on the westerly side of the property in a north and south direction in Commerce Street. This sewer connects into an 18-inch diameter sewer at the westerly end of DeBerry Street that then flows beneath the I-215 Freeway to the west. There are existing 8-inch diameter sewer lines running from east to west on Van Buren Street and Pico Street and an existing 12-inch diameter sewer line running from east to west on DeBerry Street. In the southern portion of the Specific Plan, there is an existing 8-inch sewer line in Taylor Street that connects to the existing 10-inch line sewer in Commerce Way to the north and connects to an 8-inch line in Main Street to the south. All of these sewers collect flows from the existing residences and businesses off-site and convey the flow to the sewer on the westerly side of the Specific Plan area.

As development is proposed within the various planning areas, sewer improvements will be designed and sized to tie into the existing/backbone infrastructure. Based on Figure 2.1: Land Use Plan, the existing backbone sewer infrastructure is adequately sized to accommodate these flows. Wastewater collected from the Specific Plan area will continue to be conveyed in an existing 18-inch diameter sewer pipeline under the I-215 freeway to the treatment plant in Colton.

Sewer capacity analysis and proposed sewer facilities will need to be analyzed and improvements will be constructed to the requirements of the City of Grand Terrace and the City of Colton.

# CHAPTER 3: INFRASTRUCTURE AND SERVICES

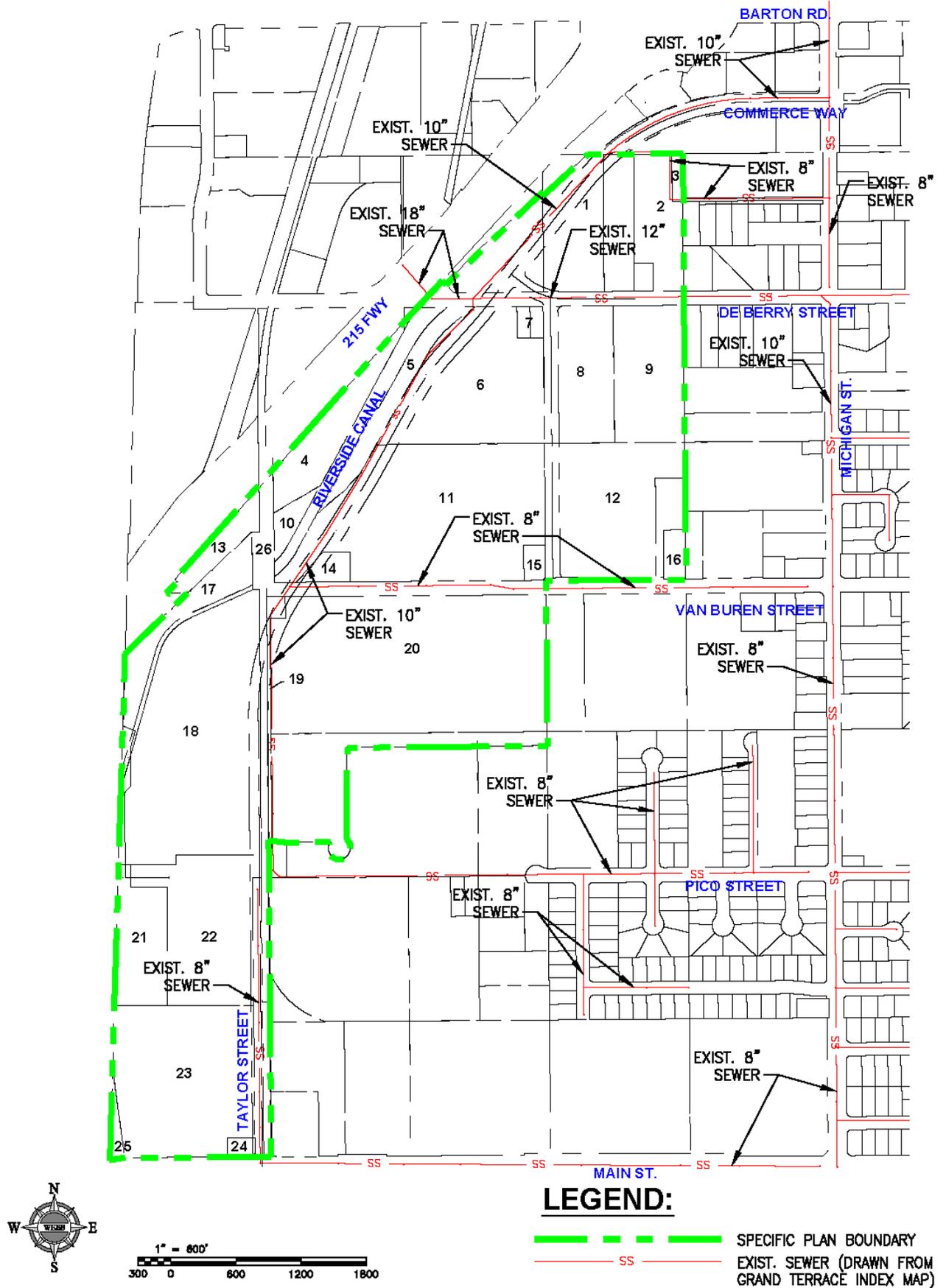


Figure 3.8: Existing Sewer Plan

### 3.5 Water

Water service for the City is provided by Riverside Highland Water Company (RHWC). RHWC is a private water company owned by its shareholders. The company maintains water main transmission lines, wells, reservoirs and service laterals throughout the City and is directly responsible for their ongoing maintenance. There are also four existing City of Riverside Public Utility (RPU) well sites located within the Specific Plan on PA14 and PA15 that do not serve the City of Grand Terrace. Figure 3.9: Existing Water Plan shows the existing water facilities.

All proposed site-specific water improvements will need to be developed and analyzed as the projects are developed and entitled. Hydraulic analysis of the proposed water facilities will need to be analyzed and improvements will be constructed to the requirements of the City of Grand Terrace and RHWC.

All areas proposed for development will be provided with fire suppression systems. Major development areas will be provided with looped on-site mains to assure adequate pressure for fire suppression. Fire hydrants will be installed at locations approved by the San Bernardino County Fire Department. RHWC lines will need to be extended to loop around the Specific Plan area.

# CHAPTER 3: INFRASTRUCTURE AND SERVICES

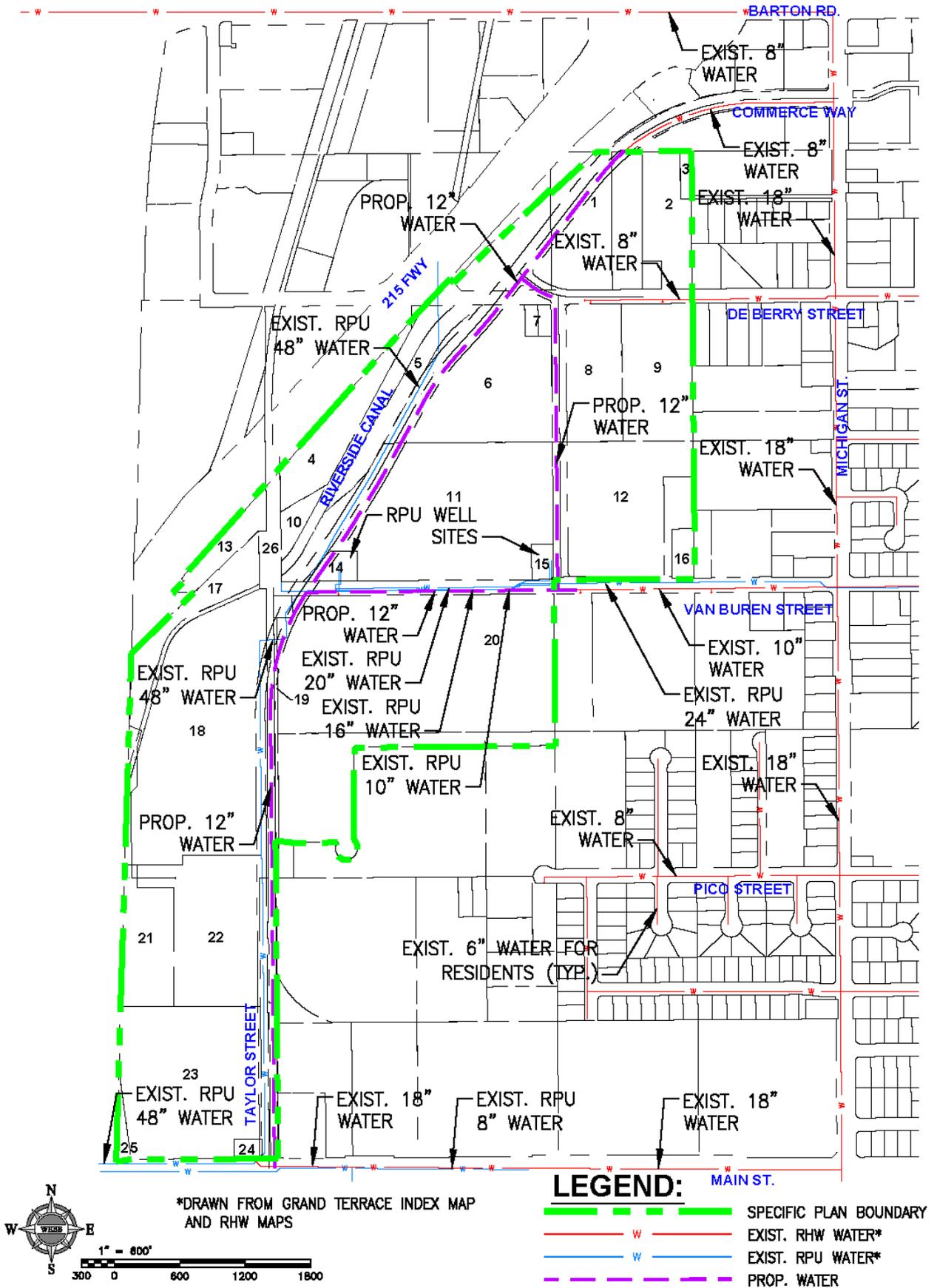


Figure 3.9: Existing Water Plan

## 3.6 Dry Utilities

### 3.6.1 Electricity

Electrical power service is provided by Southern California Edison (SCE) which maintains a system of above and below ground transmission and distribution lines throughout the City. SCE also maintains a major substation within the City. The Val Vista Substation on Newport Road is a major switching station for SCE's Southern California grid. All new on-site lines will be placed underground except as it relates to the existing electrical substation.

### 3.6.2 Natural Gas

Natural Gas service is provided by Southern California Gas Company which maintains a system of mainlines and laterals throughout the City, primarily within public rights-of-way. Any additional necessary lines will need to be identified and constructed with the Specific Plan improvements.

### 3.6.3 Cable TV

Cable service franchisee in the Specific Plan area is currently Time Warner; if permitted other cable companies may provide service. The company maintains a system of above and below ground lines throughout the City, primarily within public rights-of-way.

### 3.6.4 Structured Wiring

All development shall have an integrated structured wiring system (low-voltage wiring) to provide infrastructure for today's technology applications and the framework for the future technology advances. Requirements and benefits of a structured wiring system include:

- Allows for uniform receipt and distribution of technology services.
- Ensures scalability of wiring for future technology advances.
- Provides consistent and identical wiring protocols throughout developments.
- Enables the property infrastructure to interface efficiently with broadband networks for highest bandwidth capacity.
- Adoption of these standards will minimize retrofitting required to ensure new property owners are capable of the latest technologies and services.

### 3.7 Public Services

#### 3.7.1 Police Services

The City of Grand Terrace contracts with the San Bernardino County Sheriff to provide general patrol services as well as all necessary management and support services. Sheriff's services are operated from the County's main Sheriff's station at 655 East 3rd Street in San Bernardino.

#### 3.7.2 Fire Services

Fire protection services for the City are provided by the San Bernardino County Fire Protection District. Primary fire protection services are operated from the City's only fire station, Station 23 located at 22582 Center City Court in Grand Terrace. This station is staffed by three full-time fire personnel during the fire season (May 1 through November 30) and by two full-time fire personnel during the non-fire season (December 1 through April 30). The full time personnel are augmented by an on-call company of 20 paid call firefighters who respond to fire and rescue calls and provide response coverage to the station when on-duty personnel are committed to an emergency call.

#### 3.7.3 Waste Management Services

The City of Grand Terrace maintains a franchise agreement with Burrtec Waste Industries, Inc. (Burrtec) for the collection and disposal of municipal solid wastes, organic and recyclable materials generated by residences and businesses within the City. Burrtec provides weekly residential collection services for municipal solid waste, organic and mixed recyclables and greenwaste. Collection services to commercial and industrial uses are provided from once to six times per week and include a wide range of waste and recyclable collection services. Additionally, there will be organic waste options to comply with current state mandates.

All municipal solid waste collected in the City is taken to the San Bernardino County landfill system for disposal.

Residents and businesses will comply with ongoing waste management programs/requirements implemented by the City (e.g. hazardous waste disposal, electronic and universal waste). The City has multiple waste events throughout the year to help residents with non-typical waste needs. It is the responsibility of each property owner and/or tenant to start service for solid waste collection. Appropriate space shall be provided for storage of solid waste on each site.

### 3.7.4 Schools

All public schools within the City of Grand Terrace are owned and operated by the Colton Joint Unified School District (CJUSD). Students within the Specific Plan area would attend the following schools:

- Grand Terrace Elementary School
- Terrace Hills Middle School
- Grand Terrace High School

Applicable school fees will be paid at the time of building permit issuance. In the event of overcrowding at any of the local schools, newly registered children may be transferred to other schools throughout the District until local capacity is available.

# CHAPTER 4

## DESIGN GUIDELINES

These Design Guidelines (Guidelines) provide a framework for development within the Specific Plan to ensure streetscapes and buildings convey a cohesive, high-quality community identity. These Guidelines are not intended to prevent alternative design solutions that are compatible with the vision for the Specific Plan area.

### 4.1 Guiding Principles

- Provide clear direction to designers and developers for the Specific Plan area;
- Reinforce the City of Grand Terrace's vision for redevelopment of underutilized parcels;
- Establish a strong community identity through a common landscape theme, signage and architecture;
- Promote pedestrian scale to ensure compatibility between non-residential and residential uses;
- Strengthen the pedestrian environment and improve overall community connectivity;
- Minimize negative impacts to adjoining uses; and
- Allow flexibility to respond to market conditions.

## 4.2 Placemaking

The Specific Plan location offers an opportunity for the City of Grand Terrace to make a statement and introduce a new gateway into the City. In order to do so, a defined sense of place, active with people and visual vibrancy is important. Placemaking is the act of creating a connection between people and places which can be done through design, planning, landscape and architecture. The Specific Plan area is envisioned to embrace a mix of uses including public open spaces, residential homes and commercial uses. With new residential at the heart of the Specific Plan area, residents will be encouraged to engage in uses around them including parks and retail.

Landscape design shall be used as a strong placemaking element to promote the aesthetic character value of the community by defining, unifying and enhancing the pedestrian realm and to create a strong, cohesive identity. An attractive and unified community appearance not only increases a sense of pride in residents, but creates a positive climate for business and makes a positive impression on visitors.

Use and repetition of consistent design concepts and details reinforce the distinct character of various features paired with a native or regionally-adapted planting palette suitable to the climate and conditions of the area.

Streets are designed to be enjoyable, walkable, and interactive to pedestrians. Interior streetscapes are designed to provide a cohesive element tying the community together as a whole. Trees shall be strategically located so as not to interfere with driving visibility.

Wall treatments will be apparent and distinct with decorative pilasters accentuated by selected accent trees and plants for visual impact. Other features such as signage will help enhance the Specific Plan area truly making it a unique part of Grand Terrace.

it is also important to achieve contrast between plant species. The contrast can be in color (green to red), form (spiky to hedged), texture (lacy to static), or color value (dark to light). The eye should be able to easily see the difference in the shrub massing.

The following Placemaking strategies were utilized in the design for this unique neighborhood:

- Foster a healthy outdoor lifestyle that considers both physical and spiritual health in the manner that it is designed;
- Promote a sense of arrival that one has just entered somewhere special;
- Announce the community's presence and identity with unique features and landscape treatments;
- Provide well-thought-out and sensitive community edges;
- Recognize that trees are “a valuable resource” that over time will have an increasingly positive impact when planned properly;
- Design horticulturally compatible landscape in its setting while striving to be environmentally sensitive; and
- Include site features, such as bicycle racks, recycling bins, planters, and benches as an integral part of the design.

### 4.2.1 The Gateway

The City of Grand Terrace's image can be reinforced by a carefully-placed and well-designed gateway at its primary entrance to the City. Although special in its own right because it is a gateway to the City, the gateway monument will be part of the identifying elements for the Specific Plan area and contributes to the unifying effect of the overall plan area. The monument shall contain materials that are consistent with the remainder of the community theme while establishing a sense of arrival. This gateway can include a large freeway oriented sign, identifying the City of Grand Terrace and can include an electronic reader board that the City or property owner could manage advertising on.

### 4.2.2 Community Monumentation

Monumentation throughout the Specific Plan area shall be used as identifying and wayfinding elements as well as visual pops along the streetscape. Gateway obelisks shall serve the same purpose yet be taller than the monuments so that the obelisks may be seen from a distance.

- Locate monuments in strategic locations to provide clear identification.
- Design monuments with visual cohesiveness throughout the Specific Plan area, adding to the overall aesthetic theme.
- Place gateway obelisks at the portals of the Specific Plan area.
- Share design elements and/or colors between the monuments and obelisks to celebrate the Specific Plan visual theme.

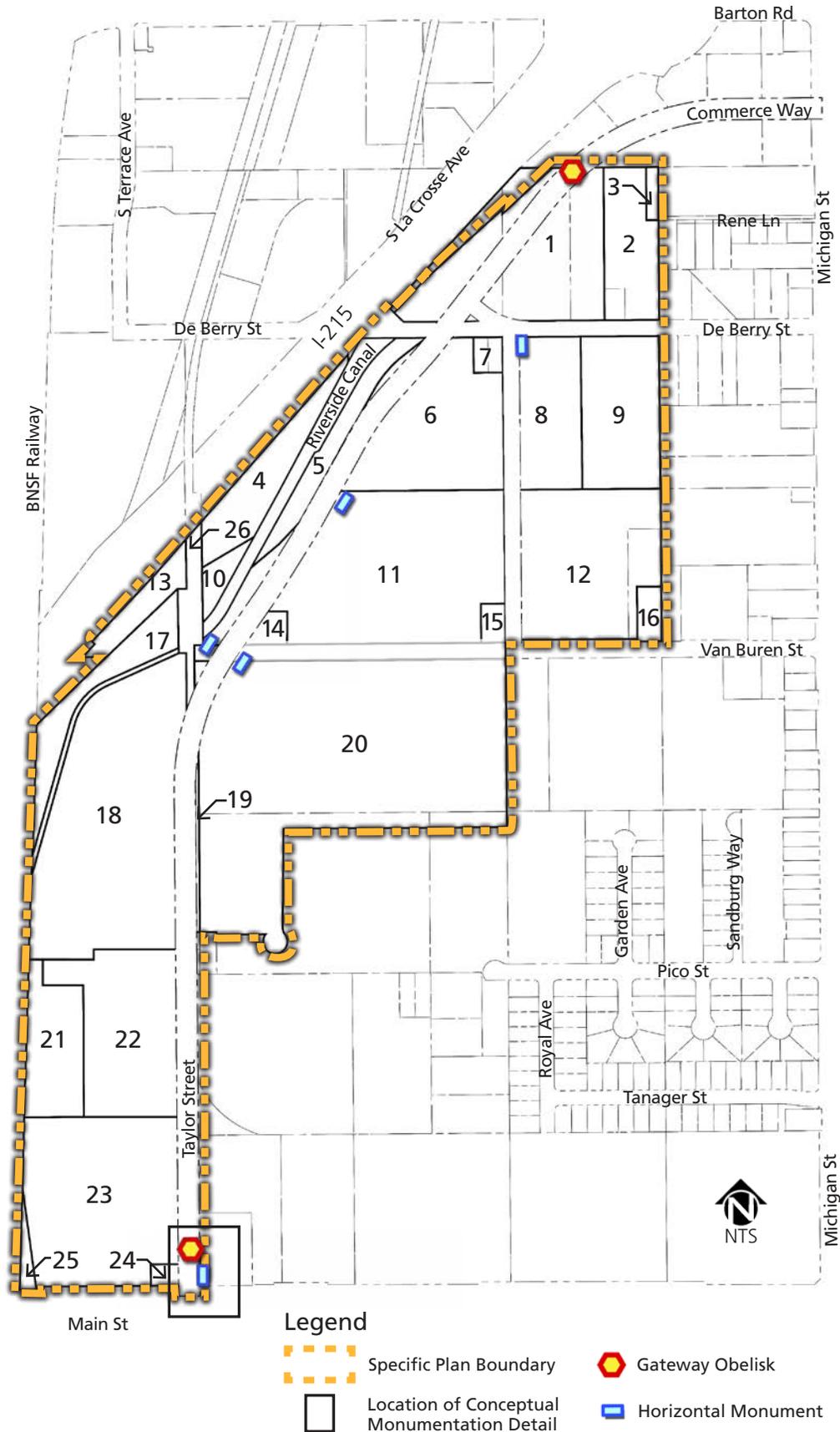
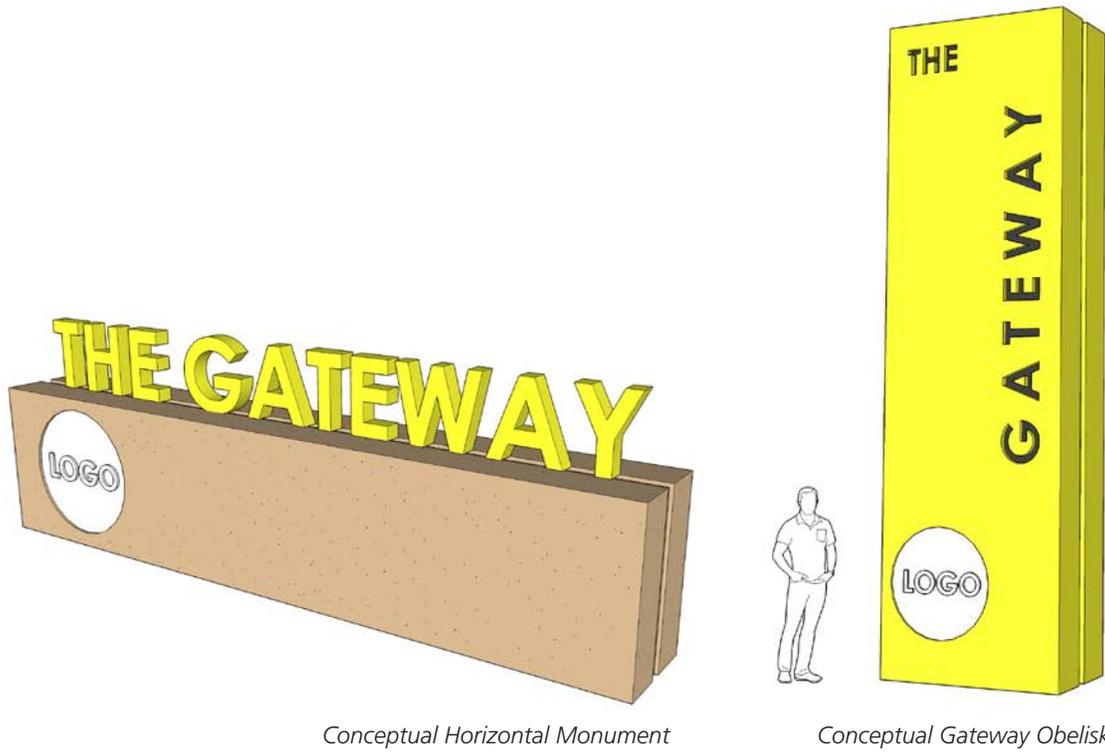


Figure 4.1: Conceptual Monumentation Plan



Conceptual Horizontal Monument

Conceptual Gateway Obelisk

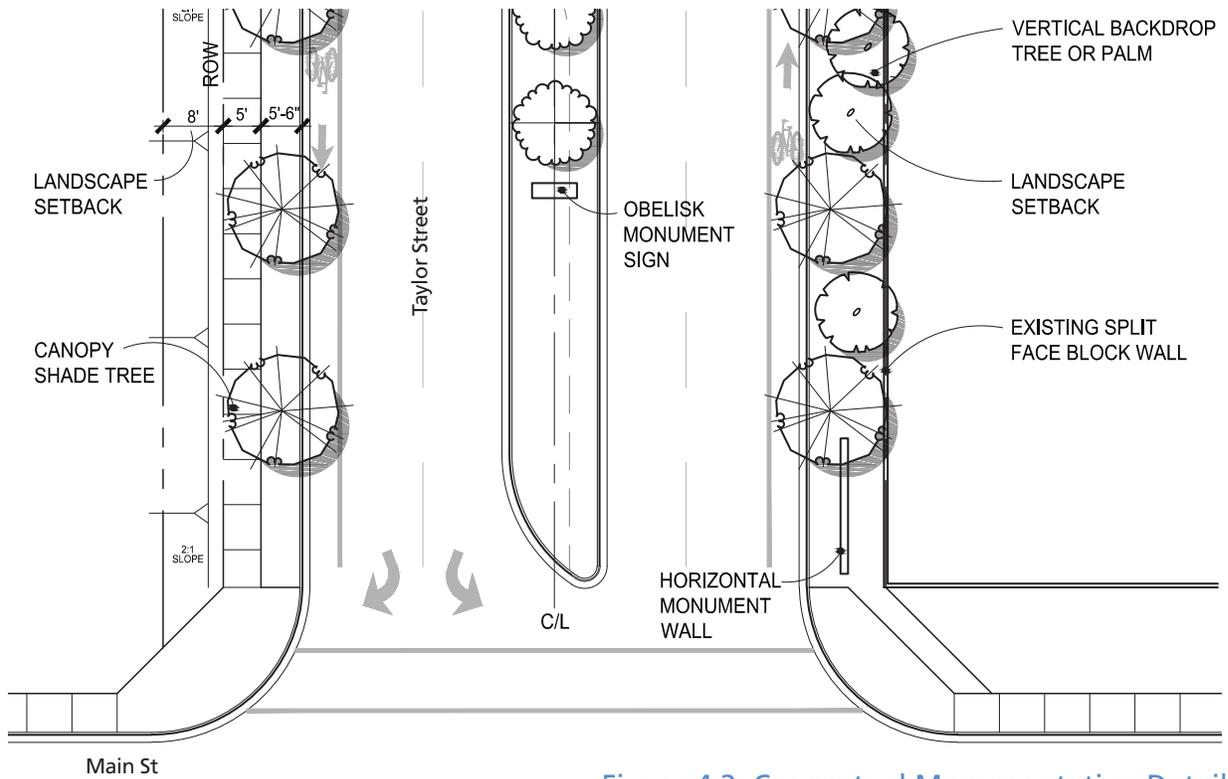


Figure 4.2: Conceptual Monumentation Detail



### 4.2.3 Urban Lighting Design

Urban lighting is another unifying element for the Specific Plan area. Urban lighting includes lighting for parking areas, pedestrian walkways, architectural and landscape features and provides for safety, security, and ambiance.

Lighting should provide a soft wash of light over illuminated objects, such as monumentation. Hierarchy shall be established by using a variety of lighting fixtures and illumination levels based on lighting design intent.

A comprehensive lighting plan shall be prepared and approved in conjunction with the site plans submitted for approval to the City of Grand Terrace.



- Exterior lighting shall be located and designed to minimize direct glare outside of the specific area;
- Lighting sources shall be shielded, diffused, or indirect in order to avoid glare to pedestrians and motorists;
- Pedestrian paths that are separate from sidewalks should be lighted by pole, string lights, directed uplighting, urban art or bollard-type fixtures. These elements should be pedestrian-scaled, typically limited to a maximum height of 15 feet for pole lights (including the base), or six feet for bollards; and
- Key site amenities and pedestrian "wayfinding" elements shall also employ lighting the landscape in the form of trees and palm uplighting and backdrop lighting technique.



### 4.2.4 Community Pageantry

Community pageantry includes flags, banners, canopies, directories, ground-mounted graphics, flower pots or other similar, temporary or permanent (but changeable) elements. The intent is to allow regular changes to the pageantry elements in terms of color, design and other visual content so the pageantry can always look current. Pageantry may be located within the right-of-way, within the setback, or on private property. Pageantry shall not include:

- Paper, cardboard, styrofoam, stickers, and decals, or
- Flashing, flickering, rotating, or moving lights.



*Lighting Examples*

### Temporary Decorations

Temporary graphics and decorations for a holiday season which do not advertise merchandise or services are permitted, provided that such graphics and decorations are installed not more than 30 days before the holiday or holiday season and removed not later than 15 days after the holiday or a holiday season. Any temporary decorations placed within the public right-of-way shall be approved by the City.

### 4.2.5 Directional Signs and Wayfinding

Controlled wayfinding and identity signs are also a major factor in creating and preserving the design character of the overall community. Although primarily for informational and wayfinding purposes, signage like landscape can help create unifying elements throughout the community and enhance community identity.

Community directional signs facilitate the flow of traffic and are typically horizontal signs with individual tenant or residential community names and directional arrows. Requirements for community directional signs include:

- Place vehicular directional signs at strategic locations to act as wayfinding and identity markers.
- To avoid confusion, use no more than six listings on directional signs.
- Maintain sight lines with the placement of directional signs.
- If appropriate, use a project name or logo on the sign.

### 4.2.6 Street Furniture

Design and placement of street furniture within the Specific Plan area shall include but not be limited to benches, barbecues, picnic tables, chairs, tables, gazebos and refuse receptacles. These shall be approved through the City of Grand Terrace's design review process.

All street furniture shall be selected from a standard furniture catalogue, but customized for use in the area. All street furniture elements will be compatible with and will enhance the landscape and Specific Plan area theme.



*Pageantry Example*



*Directional Sign Example*



*Repetitive colorful element for placement along the streetscape example*

## 4.2.7 Streetscapes

The streetscape will be composed of a number of different types of plants and trees based on the characteristic of the street. For example, Commerce Way shall have a different landscape arrangement than collector streets, however all streetscape design should consist of unifying elements that create a cohesive theme while defining the hierarchy of the circulation system. Use of a bright color will become part of the theme and identity for the Gateway development. The same color will be repetitive on the benches, banners, signs and/or logo.

Streetscapes shall include the following tree categories:

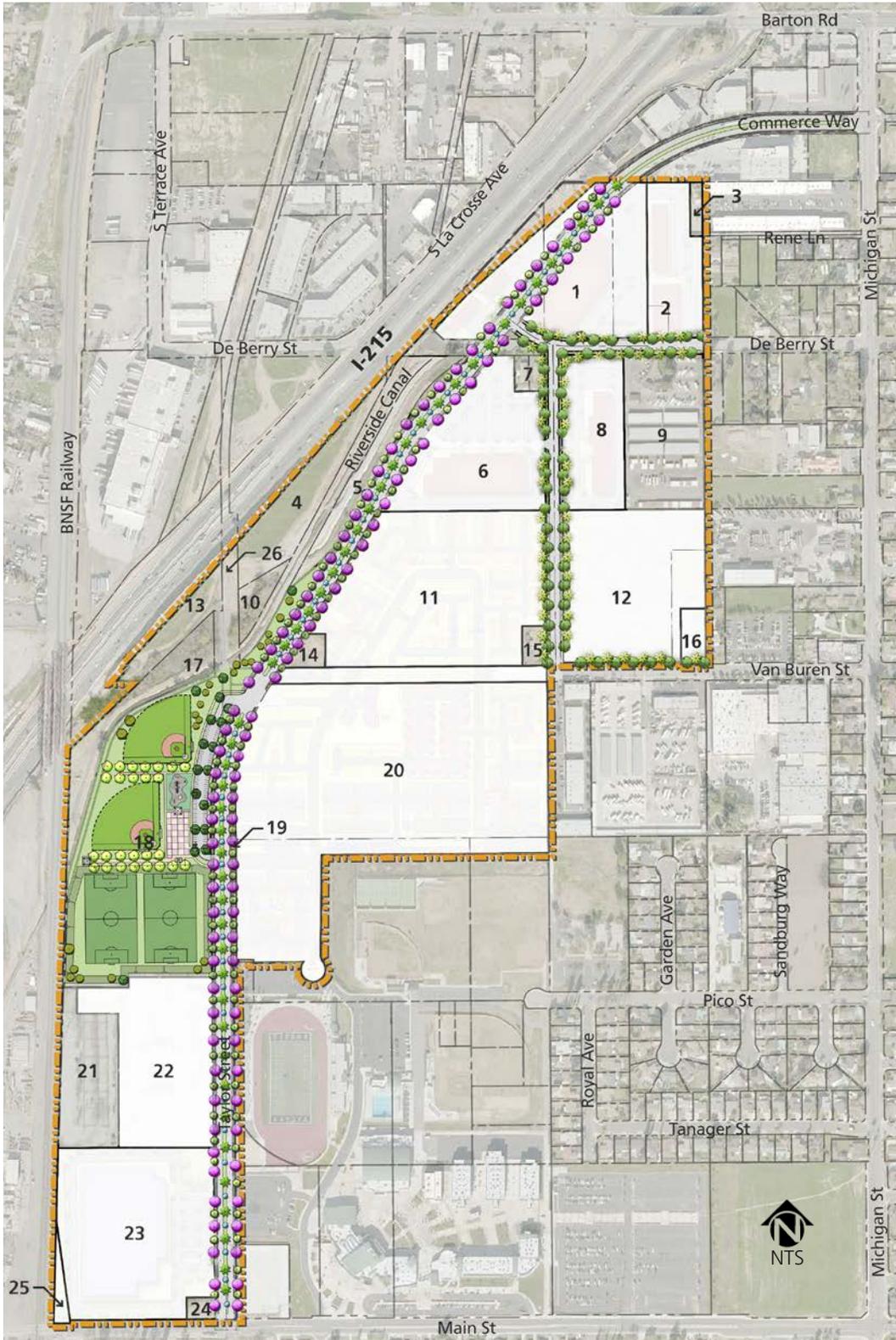
**Canopy Trees:** The primary thematic trees with broad canopies for shade and walkability.

**Skyline Trees:** Taller type trees that identify streets from further distance. Skyline trees help with scale when adjacent to tall buildings/structures and promote community identity and a sense of arrival.

**Understory Trees:** Smaller trees that provide a sense of pedestrian scale and can also be used as a “backdrop” element. Understory trees and shrub masses planted in series of tiered layering (foreground, mid-ground, and background) to help define borders and plant groupings while combining interesting foliage textures and color.

**Background Trees:** Background trees are pushed back from the street and add to the “buffer” between the curb and parking area, wall or buildings. These trees are strategically planted behind sidewalks to help create a green backdrop supporting the street tree canopy.

Refer to Table B-1 Streetscape in Appendix B for the plant palette that meets the streetscape criteria.



Legend

-  Specific Plan Boundary

Figure 4.3: Conceptual Landscape Diagram

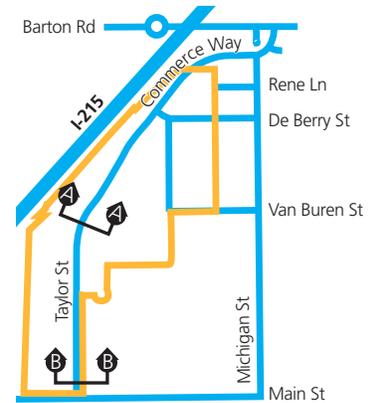
# The Gateway

AT GRAND TERRACE SPECIFIC PLAN

## A. Commerce Way/Taylor Street

Commerce Way/Taylor Street, a Secondary Highway, shall be designed as follows:

- Skyline trees (palms) alternating with understory trees will be located in the median;
- Canopy trees are located in the parkway on both sides of the streets;
- Within the setback, randomly placed vertical screen and skyline trees along with a variety of shrubs and groundcovers create a sensory, walk-through experience;
- A six-foot high wall may be located in the setback at least eight feet back from the sidewalk. The wall shall undulate and include pilasters. See Figure 4.3: Conceptual Wall and Fence Diagrams and Figure 4.4: Conceptual Wall and Fence Plan; and
- At the south end of Taylor Street on the east side, only landscape will be provided.



Commerce Way/Taylor Street  
Cross Section Key Map

## B. Main Street

Main Street, a Secondary Highway at the entry to the Specific Plan area, shall be designed as follows:

- Adjacent to commercial uses, skyline trees are evenly placed in the landscape setback every 50 feet. The skyline trees contribute to the overall aesthetic theme of the Specific Plan area.
- Canopy trees are planted in the landscape setback and the parkway. They are sporadically placed and grouped at an average spacing of six trees for every 100 linear feet.
- New sidewalks are located on the north side of the street between the parkway and the landscape setback.
- Trees lining both the landscape setback and the parkway enable shade along the sidewalk as well as aesthetic interest enhancing the pedestrian experience.

## C. Collector Street

Collector streets shall contain the following characteristics to enhance the aesthetic and pedestrian experience:

- Formal row of large canopy trees to provide shade and scale for the street and sidewalks.
- The canopy tree species are specific to each street. This gives each street a unique character, while staying cohesive with the overall landscape theme.
- Within the parkways, an additional tree is provided as an understory to the large street canopy tree. This additional tree provides foliage and interest at the pedestrian level.
- Vertical skyline palms placed towards the back of the landscaped setback provide a formal rhythm to the streetscene.
- Shrubs and ground plane species shall be selected for their bold textures and contrasting colors shall complement the street tree program.



# The Gateway

AT GRAND TERRACE SPECIFIC PLAN

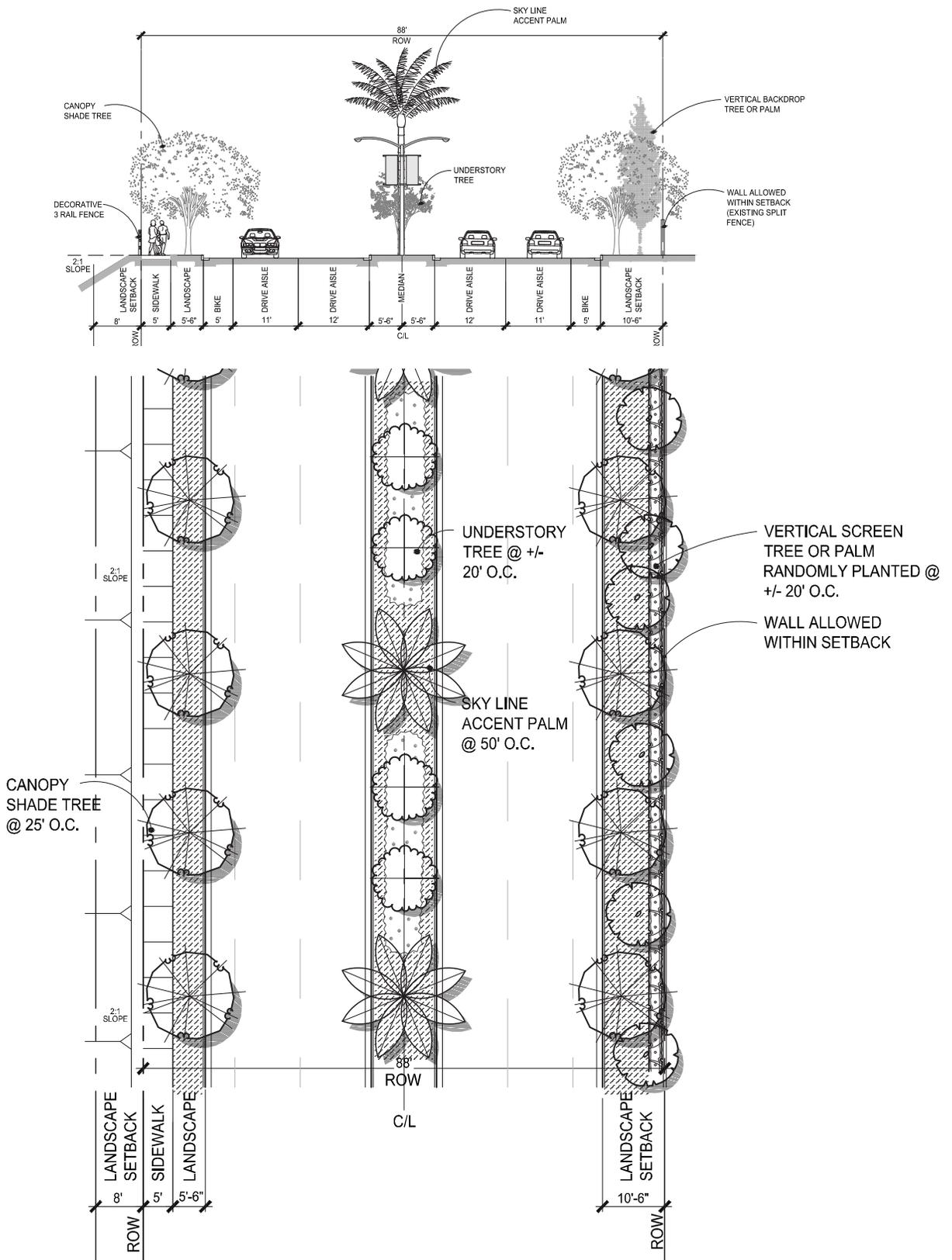


Figure 4.5: Commerce Way Plan and Cross Section B-B

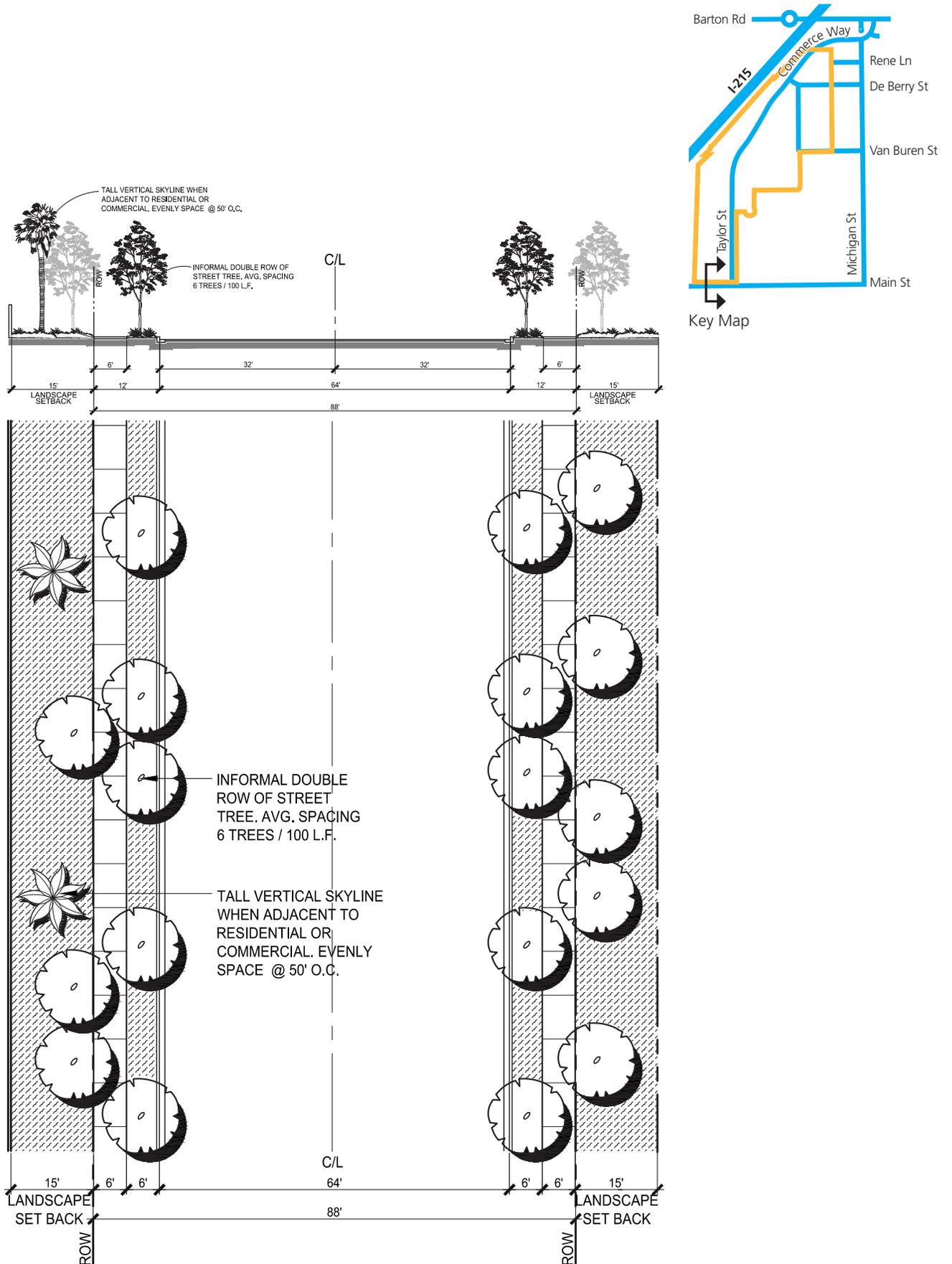


Figure 4.6: Main Street Plan and Cross Section

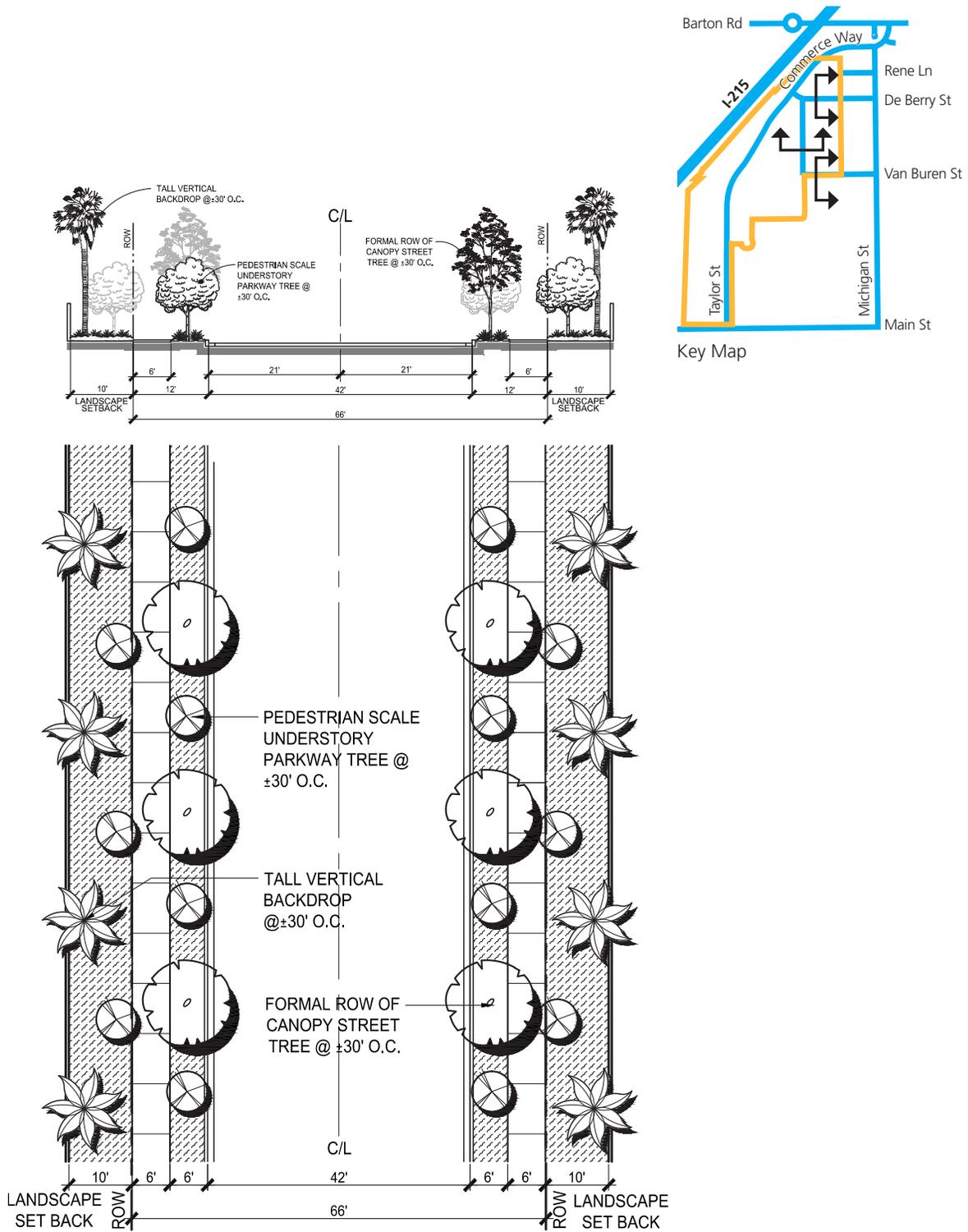


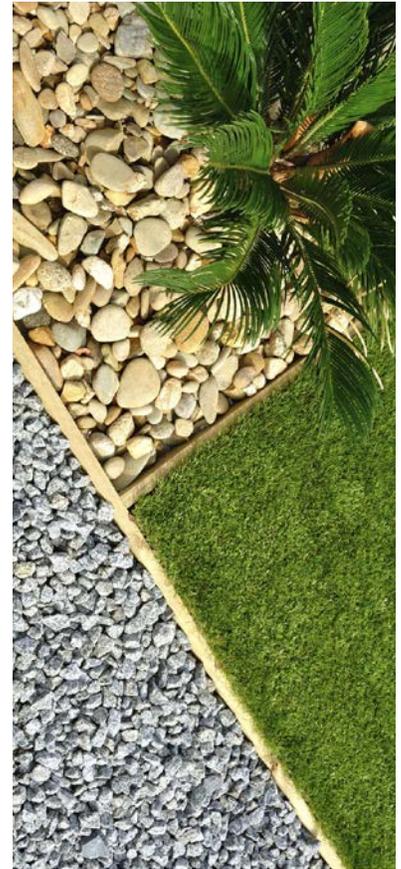
Figure 4.7: Collector Streets Plan and Cross Section

### 4.2.8 Landscape Guidelines

The community character is enhanced through appropriate plant selection:

- Emphasize the planting of shade trees in formal and informal groupings throughout the community;
- Use non-invasive drought tolerant plant materials that are climate-appropriate;
- Select and install street trees and trees planted near walkways or street curbs to prevent damage to sidewalks, curbs, gutters, and other improvements. Use root barriers where appropriate;
- Consider service lines, traffic safety sight line requirements, and structures on adjacent properties to avoid conflicts both at the time of planting and as trees and shrubs mature;
- Select and place plants to encourage plant texture as a major design element. The use of contrasting textures or mass planting of extremely bold or fine plant material is preferred;
- Separate publicly-maintained areas with a walkway, curb, or mow strip when adjacent to private property;
- Restrict use of turf grass to active use areas only; and
- Use decorative gravel, decomposed granite, boulders, and similar materials as a texture and design element; size material suitable to remain in place after installation.

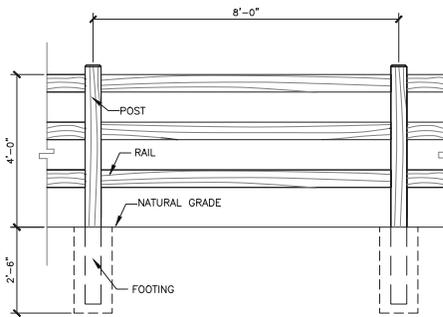
Refer to Table B-2: Master Plan Palette in Appendix B for the permitted community plant list.



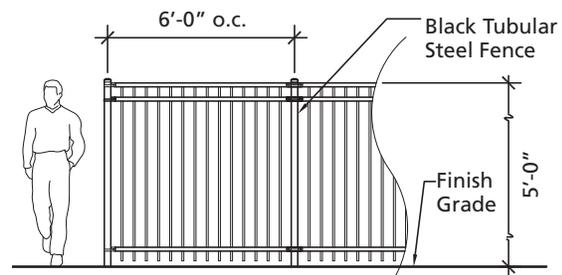
## 4.2.9 Community Walls and Fencing

Walls and fences are another placemaking feature and can be used as integral community element to enhance landscape design and reinforce the thematic design appropriate to maintain pedestrian connectivity. Four types of walls and fences are allowed within the Specific Plan as identified in Figure 4.8: Conceptual Wall and Fence Diagrams and Figure 4.9: Conceptual Wall and Fence Plan.

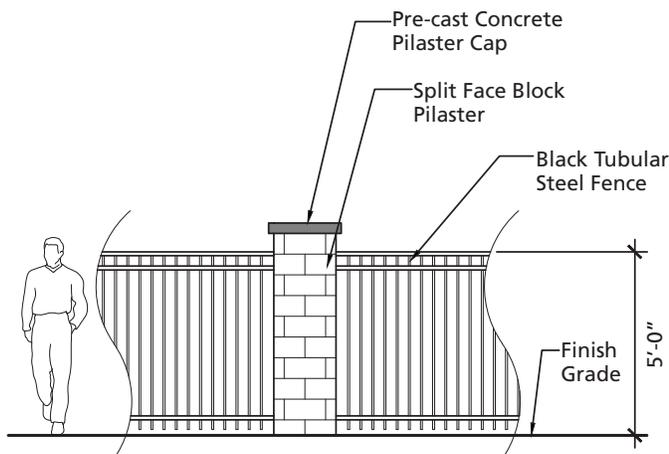
- Use complementary wall and fence designs, materials, colors, and finishes while keeping the community design theme cohesive.
- Use complementary pilasters or other design elements to break up long stretches of walls and provide interest and rhythm.
- Utilize view fences along community open spaces wherever privacy or screening is not necessary.
- Provide openings or pedestrian connections at appropriate intervals.
- Gates and view fences or walls shall be permitted where required to secure private spaces, parking, and amenities with regard for resident safety. Facilitate and encourage walking and bicycle use through the community and adjoining properties by established pathways adjacent to properties.



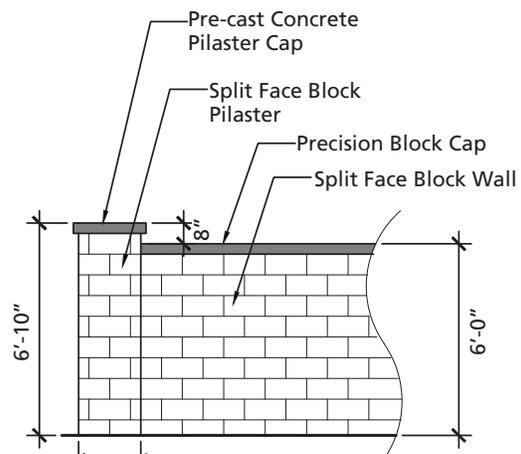
4' Rail Fence



5' Tubular Steel Fence



5' Tubular Steel Fence with Pilaster



Split Face Wall with Pilaster

Figure 4.8: Conceptual Wall and Fence Diagrams

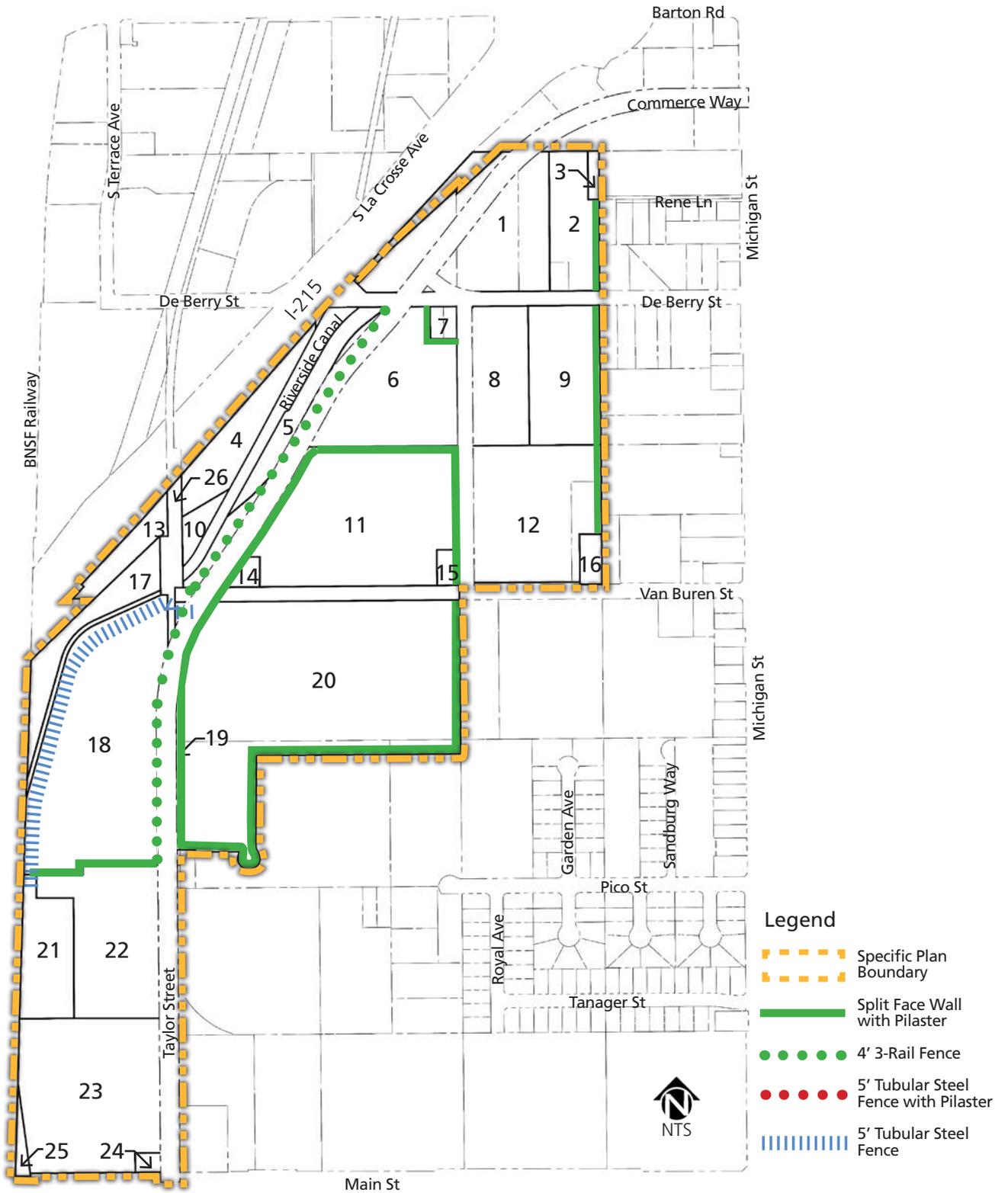


Figure 4.9: Conceptual Wall and Fence Plan

## 4.3 Non-Residential Landscape

Landscaping in the commercial areas will help soften the feel of the buildings and parking lots while enhancing the visual aspect of the Specific Plan area. The commercial uses shall contain landscape elements and plantings that complement the overall Specific Plan landscape theme. The following landscaping techniques shall be used:

- Apply enhanced landscaping treatments at all project and building entries,
- Provide shade/canopy trees within the parking areas and landscape planters at the end of parking rows, and
- Use plants to define outdoor spaces such as edges, outdoor plazas, or pedestrian paths between parking and building entrances.

## 4.4 Signage

Signs and graphics play a large role in creating and reinforcing the desired feel of a vibrant community. Sign design should be respectful of the surrounding area, yet have a distinctive character that reflects the uses of the environment.

A sign program shall be prepared for each development to allow individuality of signs while maintaining a unified and cohesive overall appearance. The sign program will be processed in compliance with sign requirement review procedures. Commercial sign design shall be:

- Compatible with adjacent buildings in terms of color, material and placement;
- Architecturally treated on the back and/or sides to blend with the exterior character of the buildings and site; and
- Color coordinated to relate to other signs and graphics in the vicinity in order to achieve a cohesive sense of identity.



### 4.4.1 Portable/Temporary Signs

On-site portable signs such as sandwich boards may be utilized to notify residents and visitors of information pertaining to on-site uses. They shall be maintained and kept in quality condition showing only appropriate content. These signs may be readily removed from public view at the end of each business day.

### 4.5 Residential Landscape

Within the residential area, a network of pedestrian amenities and pathways can create unique spaces throughout the area. The pathways provide connections to open space, pocket parks, and community recreation amenities. Thematic furniture, shade amenities and planting support the community aesthetic. Where possible, provide resting spaces at regular intervals to enhance the pedestrian experience for users of all ages and abilities. These spaces should:

- Encourage socialization and physical activity by providing both active and passive activities within a cohesive network of open space;
- Be designed to be large enough to be usable, intimate and safe, however not so large as to appear empty or barren;
- Provide linking pathways; and
- Create event areas that can host community activities.



*On-Site Temporary Sign Example*



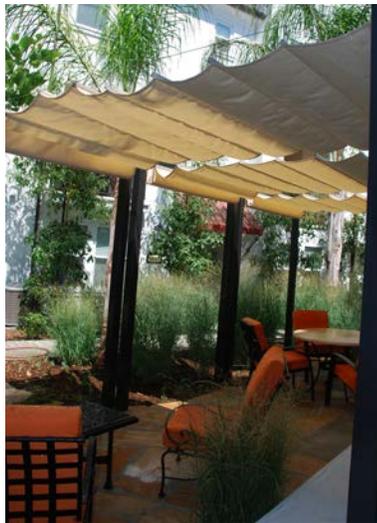
# The Gateway

AT GRAND TERRACE SPECIFIC PLAN



Landscaped areas shall be appropriate to the scale, orientation and purpose of the area; promoting walkability and pedestrian comfort, while strengthening the aesthetic character of the community.

- Plant accent shrubs to highlight unit entries;
- Feature a cohesive and thematic mixture of trees, shrubbery and ground covers with different shapes, textures and colors;
- Size and place trees and plant material appropriate with the size of planters;
- Consider opportunities for summer shade and sunlight penetration; and
- Screen and soften undesirable views.



### A. Residential Alleys

Alleys should include landscaped areas on both sides of the lane adjacent to selected garages subject to the following options:

- Condition A: When a planter is less than 24 inches deep, the long-term viability of plant material is an issue, decorative hardscape shall be used.
- Condition B: When a planter is greater than 24 inches deep, provide a vertical shrub and foundation planting.
- Condition C: For long linear foundation planters, provide either a vertical vine with support or a vertical shrub at garages, depending on planter depth as described above. Additional plant material shall fill the remainder of the planter.



*Private drive aisle with planting*



## 4.6 Residential Signage

### A. Entry Monumentation

Appropriately-scaled freestanding monument signs may be located at residential entries to announce the community identity. The monument signs will be consistent with the overall theme of the Specific Plan, and will celebrate the residential community while providing a permanent identification element.



*Conceptual Horizontal Monument*

### B. Flag Banners

A series of flag banners may be included in the residential sign program. This system of pole-mounted banners are to inform about on-site uses only.

### C. Portable Real Estate Signs

Temporary signs such as free-standing bi-faced signs may be used to advertise current on-site leasing opportunities. Information must pertain to the residential uses in the Specific Plan area.



*On-Site Sign Examples*

### 4.7 Non-Residential Guidelines

#### 4.7.1 Building Placement/Orientation

The non-residential planning areas shall be designed to allow for the safe and convenient movement of pedestrians, bicycles and vehicles within the Specific Plan area and to adjacent off-site uses. Special attention should be paid to the impacts of visibility, massing and the height of buildings. Consider the following elements during site design:

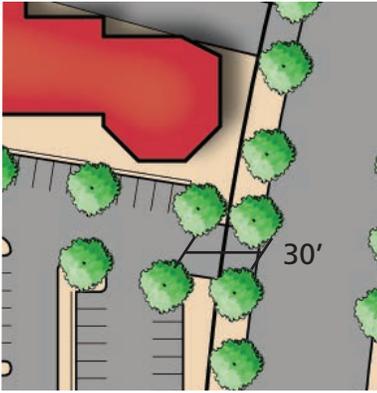
- Orient buildings to establish positive relationships with adjacent streets;
- Locate buildings to frame and enclose interesting outdoor gathering spaces;
- Buffer service and loading areas from view of the street and adjacent residential uses where practical;
- Encourage individual parcels to make internal connections to adjoining non-residential parcels that encourage walking instead of driving;
- Make building entrances clearly visible and easily identifiable as visitors access the site; and
- Provide well-defined pedestrian connections from the parking areas to building entrances.

#### 4.7.2 Parking Lots

Parking lot design is a critical factor in the success of a commercial use. Both the visual appearance and the organization of the parking lot shall be considered. Commercial parking areas shall incorporate the following:

- Design parking facilities so that a car within a parking area will not have to enter a street to move from one location to another within the same site;
- Design parking facilities so any vehicles will be able to exit from the property traveling in a forward direction;
- Use landscape areas, walkways and plazas to reduce the visual impact of large surface parking areas;
- Minimize the number of entrances and exits to reduce conflicts at entries and lessen possible congestion at street intersections;
- Design driveways and parking areas to accommodate sufficient vehicular





Safe queuing distances

stacking during peak areas;

- Where feasible, design drive aisles that are perpendicular to the main building;
- Provide a setback of 30 feet from the street curb to the first parking stall perpendicular to a driveway or to the first drive aisle intersection; and
- Driveways shall be 30 feet wide.

### 4.7.3 People Places/Site Amenities

People places in non-residential areas promote a vibrant and interactive environment for residents, employees and visitors. These common use areas include, but are not limited to, plazas, outdoor eating areas, building entry forecourts and courtyards. These spaces provide opportunities for activities such as outdoor eating, reading, casual meetings and small group gatherings.



### 4.7.4 Architectural Design

Commercial development requires well-designed buildings with a focus on image and identity. Strong entry treatments, exceptional visitor access, attractive landscaping and clear graphics and signage are important elements to further enhance the aesthetic quality of commercial development. Plazas and courtyards shall be incorporated on-site to provide visual interest, as well as outdoor eating and gathering spaces for employees and visitors:



Varying building form, height, textures to create visual interest and pedestrian scale

## CHAPTER 4: DESIGN GUIDELINES

- Avoid monolithic masses of singular form, height, wall plane or material;
- Articulate entry statements for pedestrian/user identification;
- Detail buildings with banding, architectural details, textures, color variation and/or offset massing if they use only one material;
- Provide shadow articulation and scale to building elevation through projections, overhangs and recesses;
- Articulate forms with layered wall planes, banding, architectural details and/or materials;
- At least two of the following techniques shall be used to enhance building architecture and reduce overall mass;
  - Color variation,
  - At least two different materials,
  - Change in texture,
  - Vertical/horizontal wall plane projections/recesses (minimum 2-foot offset),
  - Variation of roofline (height or form),
  - Revealed pilasters,
  - Architectural elements significantly different from main building in mass or height,
  - Trellis or awning element (proportional to massing of building),
  - Balconies, or
  - Aesthetic window groupings or treatments.



*Facade Treatment Examples*

Roofs shall be designed for functionality and enhance/complement the overall architectural design of the building. The following design elements shall be considered:

- Integrate form and materials with the overall design vocabulary of the development;
- Use fascia and/or cornice elements that are consistent with the primary design; and
- Use contiguous parapets, where appropriate, and incorporate side/rear elevation returns to eliminate false front/unfinished appearance.

#### **4.7.5 Service and Loading Areas**

Appropriate loading and service areas shall be provided for each building/tenant. Loading and service areas shall be located on the side or rear of the building and away from adjacent residential uses. Shielding the loading/services areas by the use of walls, berms or landscape shall be employed to limit views from public streets.

## 4.8 Commercial Architectural Styles

The Architectural styles for the Commercial area include:

- Contemporary,
- Mediterranean, or
- Agrarian.





## 4.8.1 Contemporary Style

The Contemporary style guidelines promote cutting edge architectural design appropriate to commercial uses by using intersecting linear planes, flat roofs, cubic forms, wide overhangs, stacked stones, and the integration of landscape with the buildings. Exterior building materials may include stucco, concrete horizontal or vertical siding, brick or stone veneers, and metal accents.

## CHAPTER 4: DESIGN GUIDELINES



### Contemporary Style Elements

Elements	Standards	Enhancements
Roof Components	<ul style="list-style-type: none"> <li>• Flat roof with or without ledges</li> <li>• Simple unadorned OR detailed parapet walls</li> </ul>	<ul style="list-style-type: none"> <li>• Accent roof features as appropriate</li> <li>• Signature towers OR vertical projections can extend above roof line</li> <li>• Cantilevered projections</li> <li>• Curved or arched roof</li> </ul>
Architectural Components	<ul style="list-style-type: none"> <li>• Utilitarian and “edgy”</li> <li>• Simple, clean forms</li> </ul>	<ul style="list-style-type: none"> <li>• Projections OR wall planes articulate facade</li> </ul>
Wall Materials	<ul style="list-style-type: none"> <li>• Stucco, metal, concrete OR cementitious siding</li> <li>• Contrasting wall materials and textures</li> </ul>	<ul style="list-style-type: none"> <li>• Asymmetrical facade</li> <li>• Horizontal OR vertical elements</li> <li>• Brick OR stone veneer</li> <li>• Metal accents</li> <li>• Concrete</li> <li>• Sunshades</li> <li>• Glass</li> </ul>
Trim & Details	<ul style="list-style-type: none"> <li>• Color blocking as appropriate</li> </ul>	<ul style="list-style-type: none"> <li>• Metal awnings OR overhangs</li> </ul>
Windows	<ul style="list-style-type: none"> <li>• Aluminum store front OR curtain wall</li> <li>• Variety of window patterns</li> </ul>	<ul style="list-style-type: none"> <li>• Larger window modules</li> <li>• Long ribbons of windows sometimes wrapping around corners</li> </ul>



## 4.8.2 Mediterranean Style

The Mediterranean style is a good example of a transplanted style developed in a climate zone similar to the Southern California climate. This old world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style.



## Mediterranean Style Elements

Elements	Standards	Enhancements
Architectural Components	<ul style="list-style-type: none"> <li>• Simple box, multi-story 'storefront' form with accent elements at entries</li> <li>• Precast surrounds</li> </ul>	<ul style="list-style-type: none"> <li>• Medallions</li> <li>• Niches</li> <li>• Decorative Vents</li> </ul>
Roof Components	<ul style="list-style-type: none"> <li>• Flat roof with parapets or mansards and cornice elements OR hip ancillary roofs</li> <li>• "S" concrete tile if applicable</li> </ul>	<ul style="list-style-type: none"> <li>• Closed/shaped eave with corbels at accent elements</li> </ul>
Wall Materials	<ul style="list-style-type: none"> <li>• Stucco finish</li> </ul>	<ul style="list-style-type: none"> <li>• Brick OR stone accents</li> </ul>
Trim & Details	<ul style="list-style-type: none"> <li>• Awning OR projecting feature accenting overall design such as arcades, towers and loggias</li> </ul>	<ul style="list-style-type: none"> <li>• Horizontal belt course</li> <li>• Cast stone surrounds, precast trim</li> <li>• Base trim</li> <li>• Tile accents</li> <li>• Wrought iron grilles</li> </ul>
Windows	<ul style="list-style-type: none"> <li>• Arched, round top, OR pedimented accent windows at selected locations</li> </ul>	<ul style="list-style-type: none"> <li>• Paneled OR louvered shutters</li> </ul>



### 4.8.3 Agrarian Style

The Agrarian style has grown out of the early colonial development in the 1700s. As the American Frontier moved westward, the Agrarian style evolved according to availability of materials and technological advancements. Modern day architects have adapted this style to have an industrial twist with standing seam metal roofs and asymmetry. Roof ornamentation is a characteristic detail consisting of cupolas or weather vanes.



## Agrarian Style Elements

Elements	Standards	Enhancements
Architectural Components	<ul style="list-style-type: none"> <li>Simple box, multi-story 'storefront' form with accent elements at entries</li> </ul>	<ul style="list-style-type: none"> <li>Protruding wood headers, decorative, exposed rafter tails</li> <li>Wood posts with brackets</li> </ul>
Roof Components	<ul style="list-style-type: none"> <li>Flat roof with parapets OR mansards OR gable OR shed roofs</li> </ul>	<ul style="list-style-type: none"> <li>Wrought iron details,</li> <li>Standing seam metal roofs</li> <li>Cupolas</li> </ul>
Wall Materials	<ul style="list-style-type: none"> <li>Stucco finish</li> </ul>	<ul style="list-style-type: none"> <li>Brick OR stone accents</li> <li>Siding</li> </ul>
Trim & Details	<ul style="list-style-type: none"> <li>Siding accents</li> </ul>	<ul style="list-style-type: none"> <li>Siding accents</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Aluminum store front OR curtain wall</li> <li>Variety of window patterns</li> </ul>	<ul style="list-style-type: none"> <li>Dormer window accents</li> <li>Shutters</li> <li>Divided lites</li> </ul>



*Setback massing, simple wall plane offsets, and height accents create variation consistent with a simple home approach*

## 4.9 Residential Architectural Guidelines

The design of multiple-family housing is important with higher residential densities while still conveying a sense of human scale. Such buildings tend to have larger building masses, but must relate to the neighborhood with a pedestrian scale. All multiple-family buildings, regardless of architectural style or building typology, shall exemplify quality design. Building elements such as building form and massing, roof design, materials and color, garage design, detail elements, and functional elements will be consistent with the appropriate architectural style and should complement those of surrounding buildings and land uses.

### 4.9.1 Simple House

The scale of higher-density buildings shall be designed for visual interest, creating rhythm and scale to the street. Composition of massing, interlocking volumes and addition of stylized details will achieve engaged streetscapes. This may mean subtle massing offsets with a higher-level of detail, or bolder forms with more pronounced massing variation and simple to sparse detail. The design approach shall be tailored to the architectural style and context of the primary pedestrian street.

The residential component of the Specific Plan area is comprised of a range of home types. These home types are designed to create small neighborhoods within the residential community. The variety of homes shall include a collection of varied but complementary forms that create a streetscene that is clear to navigate physically and visually.

In an effort to meet the rising housing demand, affordability by design is an important consideration. Homes that feature simple structural (massing and roof) forms will provide an aesthetically pleasing neighborhood and be economically feasible for the builder and buyer alike.

Smaller homes especially stand to benefit from a simpler, streamlined architectural treatment characterized by stacked massing, simple rooflines, and an acute attention to detail to maximize buildable square footage. Architecture that results in a simplified massing also has positive impacts on the reduction of the building's carbon footprint through resource-efficient design.

### 4.9.2 Plotting

By their very nature, multiple-family neighborhoods are like small villages; each should be designed for compatibility within itself, using a blend of compatible architectural styles or one style with multiple elevations and a tastefully balanced palette of colors and materials.

- Select building colors from a community color palette;
- Design and site buildings with a strong physical relationship to public areas; and
- Emphasize pedestrian access and connections to common open space trails and sidewalks.

These neighborhoods should offer a mix of floor plans and building types. A building type is defined as a composition of floor plans with a building massing that is distinguishable from other buildings within the neighborhood. This includes, but is not limited to, buildings with stacked flats, townhomes of varying sizes and orientations, and a mixture of these unit types.

#### A. Parking Areas

The focus of multiple-family buildings should be their street front image and pedestrian access. Each neighborhood should incorporate interior-oriented parking solutions and use the following design techniques to enhance the architecture of the street scene:

- Screen parking areas if they are visible from public streets with landscape or architectural solutions;
- Distribute resident parking on site to provide close proximity as possible to individual units;
- Group unassigned or guest parking in convenient location(s);
- Provide required covered parking spaces in garages or carports for each unit;
- Provide landscape parking islands suitable for supporting shade trees every 10 stalls and at ends of parking rows; and
- Provide three-foot wide planters adjacent to walls or trash enclosures.

## B. Garages

Garages shall be considered as part of the overall project design reducing their visual emphasis. Their relationship to the building may be projecting, flush or recessed provided that it is compatible to the mass and style of the building. Where appropriate incorporate the following:

- Utilize the same architectural style, massing elements, wall materials and finish, design details and colors as the residential dwelling units;
- Use similar or compatible roof forms;
- Provide special architectural attention to end wall conditions that are visually prominent from the street;
- Consider tandem garages to accommodate parking requirements; and
- Driveway aprons can vary from two to five feet in length, but care should be given to provide opportunities for landscape where possible.

## C. Carports

These structures shall be compatible with the style, color and materials of the primary buildings and may include metal supports.

## 4.10 Architectural Requirements

### 4.10.1 Building Form and Scale

The form of a multiple-family building should be consistent with an appropriate architectural style. However, buildings should relate to each other both horizontally and vertically. Due to their nature as larger buildings, multiple-family building design must be mindful of the relationship to, and impact on, adjacent neighbors. Each neighborhood should include a collection of varied but complementary forms which creates a streetscene that is clear to navigate physically and visually.

- Maintain a human-scale through breaking up building shapes into multiple forms;
- Project a front door image on units that open onto courtyard space or street front. If front doors need to be located at a drive aisle, then special attention must be paid to make these entries safe, pedestrian friendly and attractive;



- Provide porches, covered entry spaces or courtyards as a transition to public spaces; and
- Vary setbacks on building elements/facades.

### 4.10.2 Building Height

Buildings shall incorporate elements that reduce visual height, such as:

- Provide open balconies at building corners to provide negative space; and
- Reduce massing along pedestrian-oriented edges.

### 4.10.3 Windows

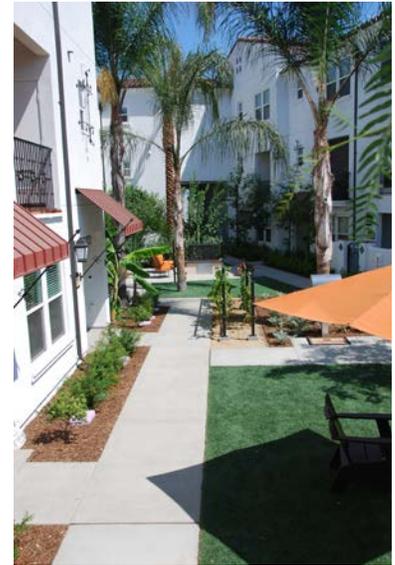
Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of attached residential buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition and sense of order; and
- Use appropriate scale and proportion in window design to enhance the elevation style.

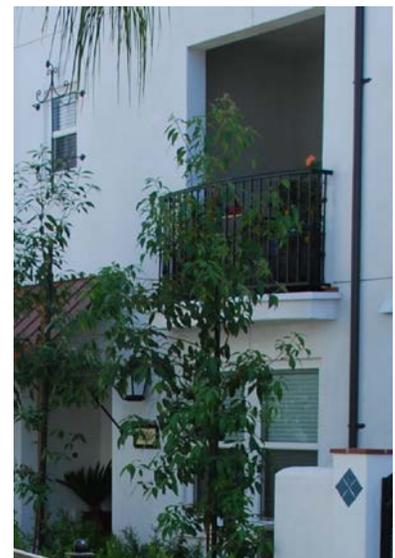
### 4.10.4 Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element; and
- Balconies shall be designed as integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design.



*Using architecture and landscape elements to define public and private spaces*





## 4.10.5 Architectural Detailing

Buildings should activate the street, utilizing elements such as canopies and decks, awnings, stoops, plazas, and enhanced entries with porches, trellises or courtyards, where appropriate to building typology and architectural style, as transitional spaces between the “private” and “public” realms.

Exterior stairs and guardrails, when used, should be designed as an integral part of the architecture. Stair guardrail design should be consistent with the architectural style of the building.

## 4.10.6 Accessory Structures

Detached garages, carports, and other similar accessory structures shall be compatible in design, materials, and color with the primary building. Such structures shall be visually related to the main building through the use of courtyards, garden walls, or other landscape elements.

## 4.11 Architectural Styles

Within these communities it is desirable to have a cohesive look and feel. While some variation in architectural style is encouraged, one main thematic architectural style may be used for the entire development provided a variety of building plans and types are utilized in the community, and the style used is executed properly through form, color, massing and architectural



details. Multiple-family communities with a central architectural theme are allowed to offer a single color scheme if this helps to further define the architectural style proposed.

Residential architectural styles within the community may include:

- Spanish,
- Monterey, and
- Italian.

### 4.11.1 Adaptive Styles

Traditional architecture is based on recognizable, authentic and historically derived forms, materials and details that express a particular style. Adapted or historically derived elevations focus on character-defining elements but allow for the integration of modern materials, colors and artistic interpretation to generate a more contemporary, yet recognizable, traditional architectural style.

Adapted elevations can incorporate new, modern or progressive forms, details and materials in the modern context of architecture. Architectural liberties are taken in interpretation and design to create an identifiable style that is not strictly historical.

#### A. Adaptation Elements:

- Plan form is generally bold and simplified;
- Elevation is generally identifiable as derived from the traditional form, detail, or signature feature reflective of the style from which it is derived (i.e. balcony, brackets under eaves, entry surrounds, bay windows, porches, corbels, columns and railings);
- Roof pitches may be exaggerated (shallower or steeper);
- Roof overhangs may be exaggerated;
- Wall materials such as metal, modern brick sizes brick, and/or siding widths;
- Wall materials may be modern;
- Windows match the theme of the elevation in detail, size, orientation or trim; and
- Details are simpler and highlighted or exaggerated to define style.



*Bold, simple form with traditional elements*

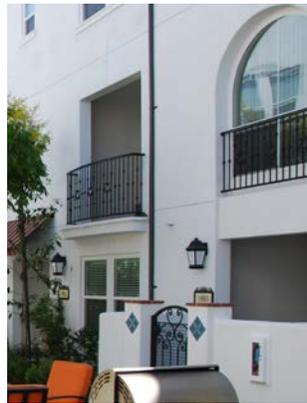


Source: Santa Barbara, Lewis Apartment Communities

## 4.11.2 Spanish Style

The Spanish style attained wide-spread popularity after the Panama-California exposition of 1915 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work and carefully proportioned recessed windows appropriate to its wall mass.

Key features of this style are adaptable to buildings both grand and humble. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



## Spanish Style Elements

Elements	Standards	Enhancements
Roof Components	<ul style="list-style-type: none"> <li>Hip OR gable roofs OR flat roof with parapet walls</li> <li>Roof pitches 4:12 to 6:12 where applicable</li> <li>Tight rake, where used</li> </ul>	<ul style="list-style-type: none"> <li>Parapets with barrel tile caps</li> <li>Rafter tails, shaped tails preferred</li> </ul>
Roof Materials	<ul style="list-style-type: none"> <li>Concrete "S" tile</li> </ul>	<ul style="list-style-type: none"> <li>Barrel tile</li> </ul>
Roof Colors	<ul style="list-style-type: none"> <li>Hues of terra cotta OR other natural clay colors</li> </ul>	
Architectural Components	<ul style="list-style-type: none"> <li>Round top OR arched primary window OR architectural feature</li> <li>Recessed openings at front entry OR porch</li> </ul>	<ul style="list-style-type: none"> <li>Shed roof accent feature</li> <li>Porches, balconies OR verandas</li> </ul>
Wall Materials	<ul style="list-style-type: none"> <li>Medium sand float stucco finish (16/20)</li> </ul>	<ul style="list-style-type: none"> <li>Decorative ceramic tile OR brick accents</li> </ul>
Wall Colors	<ul style="list-style-type: none"> <li>Toned whites and light to medium-light value warm colors</li> </ul>	
Trim & Details	<ul style="list-style-type: none"> <li>Stucco-wrapped, high density foam trim with fine sand float stucco finish (20/30) OR smooth manufactured foam trim</li> <li>Gable end tile details</li> <li>Decorative metal elements (pot shelf, gate, balcony, etc.)</li> </ul>	<ul style="list-style-type: none"> <li>Closed OR exposed eaves</li> <li>Wood beam accents, especially at porch</li> <li>Wall mounted light fixtures at garage door</li> <li>Well-placed and proportional entry light fixtures</li> </ul>
Trim Colors	<ul style="list-style-type: none"> <li>Medium dark value browns reminiscent of stained wood</li> </ul>	
Windows	<ul style="list-style-type: none"> <li>Vertically proportioned windows</li> <li>Recessed feature windows</li> </ul>	<ul style="list-style-type: none"> <li>Divided lights</li> <li>Round top windows</li> </ul>
Doors	<ul style="list-style-type: none"> <li>Front entry doors without a porch, deeply recessed from front facade</li> <li>Rectangular OR arched surrounds (following door design)</li> </ul>	
Accent Colors	<ul style="list-style-type: none"> <li>Clear to muted blues, greens, rust and burgundy in medium to dark value range OR dark browns</li> </ul>	



### 4.11.3 Monterey Style

Influenced by both Spanish Colonial and New England Colonial homes, historical Colonial Monterey features Spanish detailing while maintaining the Colonial style form. With its stucco or masonry walls, red barrel, “S” or flat concrete shake roofs, this style exhibits many of the same elements as an historical Spanish home: simple building form and mass, rusticated corbels, head trim, posts or balconies, and gable roof forms. Traditionally the style included horizontal siding on upper floors and the use of wood railings. Interpretations of this style maintain a simple elegance. The early prototypes added many refinements and new details. Though usually thought to be fully adorned with porches, second floor balconies and verandas, many successful, historical adaptations of this style avoided these details and focused simply on careful massing, detail and the natural beauty inspired through its blend of rich Spanish and Colonial heritage.



## Monterey Style Elements

Elements	Standards	Enhancements
Roof Components	<ul style="list-style-type: none"> <li>Simple roofs of hips OR gables OR flat roof with parapet walls</li> <li>Roof pitches 4:12 to 6:12 where applicable</li> </ul>	<ul style="list-style-type: none"> <li>Parapets with barrel tile cap</li> <li>Rafter tails, shaped tails preferred</li> </ul>
Roof Materials	<ul style="list-style-type: none"> <li>Concrete "S" tile OR flat concrete shake tile OR asphalt shingles</li> </ul>	
Roof Colors	<ul style="list-style-type: none"> <li>"S" tile in hues of terra cotta OR other natural clay colors</li> <li>Shake tile in natural wood tones</li> </ul>	
Architectural Components	<ul style="list-style-type: none"> <li>Balconies cantilevered OR supported</li> <li>Simple wood beams at balcony</li> </ul>	
Wall Materials	<ul style="list-style-type: none"> <li>Medium sand float stucco finish (16/20)</li> <li>Material change at second floor, typical</li> </ul>	<ul style="list-style-type: none"> <li>Brick OR slump block on first floor at main entrance</li> <li>Board and battens OR horizontal siding at upper level</li> </ul>
Wall Colors	<ul style="list-style-type: none"> <li>Light to medium value warm colors and toned whites</li> </ul>	
Trim & Details	<ul style="list-style-type: none"> <li>Stucco-wrapped, high density foam trim with fine sand float stucco finish (20/30) OR smooth manufactured foam trim</li> <li>Closed OR exposed eaves</li> <li>Plank-style shutters on feature windows</li> </ul>	<ul style="list-style-type: none"> <li>Well-placed and proportional entry light fixture</li> <li>Wood (or simulated wood products) OR metal railing</li> </ul>
Trim Colors	<ul style="list-style-type: none"> <li>Medium to dark value browns reminiscent of stained woods OR toned whites</li> </ul>	
Windows	<ul style="list-style-type: none"> <li>Vertically proportioned windows with simple minimal trim</li> <li>Typically rectangular, arches discouraged</li> </ul>	
Doors	<ul style="list-style-type: none"> <li>Rectangular openings, with simulated precast surrounds OR header</li> </ul>	
Accent Colors	<ul style="list-style-type: none"> <li>Muted tones of medium to dark value blue, green, rust OR burgundy and dark browns</li> </ul>	

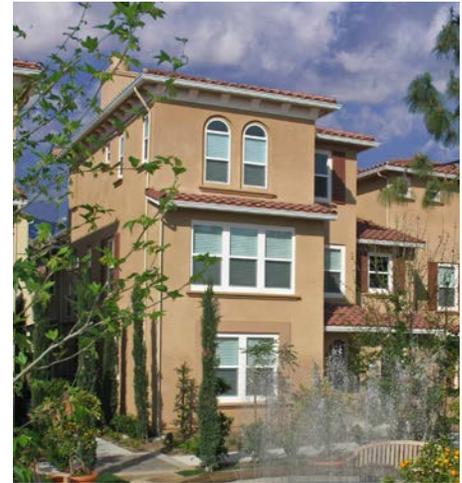


#### 4.11.4 Italian Style

The Italian style is a good example of a transplanted style developed in a climate zone similar to the Southern California climate. In the 1860's, the Italian Villa was one of the fashionable architectural styles in the United States based on the formal and symmetrical palaces of the Italian Renaissance. Italian homes are straightforward and boxy, with only window crowns and cornice moldings as ornamentation.

This old world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style. As it became a popular building material, wrought iron expanded the Italian style vocabulary to include a variety of embellished designs for porches, balconies, railings and fences.

An off-shoot of this style, Italianate, emerged in the row houses of San Francisco with amplified Italian Renaissance characteristics including the emphasis on use of classic Roman orders in columns, decorative motives along the exaggerated cornice line and projecting bay windows under hip roofs.



## Italian Style Elements

Elements	Standards	Enhancements
Roof Components	<ul style="list-style-type: none"> <li>Main hip roof with hip ancillary roofs OR flat roof with parapets or mansards and cornice elements</li> <li>Roof pitches 4:12 to 6:12 where applicable</li> </ul>	<ul style="list-style-type: none"> <li>Closed/shaped eave with corbels at accent elements</li> </ul>
Roof Materials	<ul style="list-style-type: none"> <li>"S" concrete tile</li> </ul>	<ul style="list-style-type: none"> <li>Barrel tile</li> </ul>
Roof Colors	<ul style="list-style-type: none"> <li>Hues of terra cotta OR other natural clay roof tile colors</li> </ul>	
Architectural Components	<ul style="list-style-type: none"> <li>Precast surrounds</li> </ul>	<ul style="list-style-type: none"> <li>Medallions</li> </ul>
Wall Materials	<ul style="list-style-type: none"> <li>Medium sand float stucco finish (16/20)</li> </ul>	<ul style="list-style-type: none"> <li>Brick OR stone accents</li> </ul>
Wall Colors	<ul style="list-style-type: none"> <li>Medium to medium dark value saturated colors in earth tones, especially yellow, orange and red</li> </ul>	
Trim & Details	<ul style="list-style-type: none"> <li>Window and door trim</li> <li>Horizontal belt course</li> </ul>	<ul style="list-style-type: none"> <li>Formal entry with smooth stucco trim</li> <li>Cast stone surrounds, precast trim</li> <li>Simulated precast columns at entry OR between windows</li> <li>Base trim</li> </ul>
Trim Colors	<ul style="list-style-type: none"> <li>Wood trim in medium dark to dark value browns; precast concrete trim in medium light value, warm toned whites</li> </ul>	
Windows	<ul style="list-style-type: none"> <li>Arched, round top, OR pedimented accent windows at selected locations</li> <li>Symmetrically ordered and stacked windows and openings</li> </ul>	<ul style="list-style-type: none"> <li>Paneled OR louvered shutters on accent window</li> <li>Grid patterned at front and visible windows</li> <li>Recessed windows</li> </ul>
Doors	<ul style="list-style-type: none"> <li>Entries detailed with precast surround feature</li> <li>Paneled front entry doors</li> <li>Paneled garage doors</li> </ul>	<ul style="list-style-type: none"> <li>Garage doors with windows</li> </ul>
Accent Colors	<ul style="list-style-type: none"> <li>Vibrant shades of medium dark to dark value blues, greens, oranges and reds</li> </ul>	

## 4.12 Community Recreation and Common Facilities

A common recreation area shall be provided. Common facilities within the recreation area may include pools, spas, club houses, management offices, barbecues and other facilities appropriate to the demographic profiles of the community. These facilities may be shared between the neighborhoods.

- Common recreation facilities shall be key character elements for the neighborhood;
- All architectural and community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall architectural character for the neighborhood;
- Clubhouse and other common buildings shall exhibit 360-degree architecture where it is visible; and
- Colors, massing, roof pitch and materials shall be compatible with residential buildings or project theme.



### 4.13 Public Park Furniture

In addition to the amenities at the park including shade structures and sports fields, the park shall include furniture items such as picnic tables, benches and trash receptacles.

- Furniture elements shall be visually pleasing using splashes of color that echoes the community theme.
- Park furniture shall be easily accessible, visible and functional to users.
- Furniture shall be implemented in area of prolonged use such as picnic areas and under shade structures.



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# CHAPTER 5

## IMPLEMENTATION AND ADMINISTRATION

All regular provisions of the Grand Terrace Zoning Code shall apply to all properties within the Specific Plan area, including but not limited to design review, use permits, appeals, amendments, public notice and hearing provisions. The provisions herein supplement the above reference provisions.

The Specific Plan will be implemented primarily through the use of Site and Architectural review. The review process shall be required for all major rehabilitation, redevelopment, expansion of existing uses and/or structures, and new development within the Specific Plan area. A Site and Architectural review will not be required for rehabilitation of a structure where there is no square footage increase or use intensification. However, such an expansion may require other land use and building permit applications and subsequent review processes. Where applicable certain uses and activities may require review through the Conditional Use application process as defined in the Zoning Ordinance. A sign program permit is required for each development parcel per Section 18.80.060 of the Grand Terrace Municipal Code.

### **5.1 Severability**

If any section, subsection, sentence, clause, phrase or portion of this Specific Plan, or any future amendments or additions hereto, is for any reason found to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remainder of this Specific Plan document or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase or portion or any future amendments or additions thereto, irrespective of the fact that any one or more section, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

## 5.2 Interpretation

In case of uncertainty or ambiguity in the meaning or intent of any provision of this Specific Plan, the Planning Director has the authority to interpret the intent of the provision. The Director may, at his/her discretion, refer interpretations to the Planning Commission for consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation. All interpretations made by the Planning Director may be appealed to the Planning Commission.

## 5.3 Minor Specific Plan Revisions

The following minor, technical, and/or information revisions that do not change the meaning or intent of the Specific Plan shall be processed administratively.

- The addition of new information to the Specific Plan in the form of maps and/or text that doesn't change the effect or intent of any regulations;
- Changes in Planning Area boundaries resulting from final road alignments and/or geotechnical or engineering refinements to the tentative and/or final tract map provided that the total number of dwelling units is not exceeded;
- Clarification, including determination of meaning and intent, of any unclear or vague section, portion of a section, phrase, or word contained within this document;
- Typographical and grammatical errors;
- Revisions to tree species, size and location and other landscape material in the public right-of-way subject to the review and approval of the Public Works Department;
- Revisions to the location of infrastructure and/or service providers (such as drainage systems, roads, water and sewer systems, etc.) provided that the agency or jurisdiction that regulates such infrastructure and/or service has reviewed and approved the revisions;
- Revisions or additional architectural styles that follow the same principles and attention to detail as the specific vernaculars listed within Chapter 4: Design Guidelines; and
- Minor deviations to standards may be considered per Chapter 18.89 of the Grand Terrace Municipal Code.

## 5.4 Specific Plan Amendments

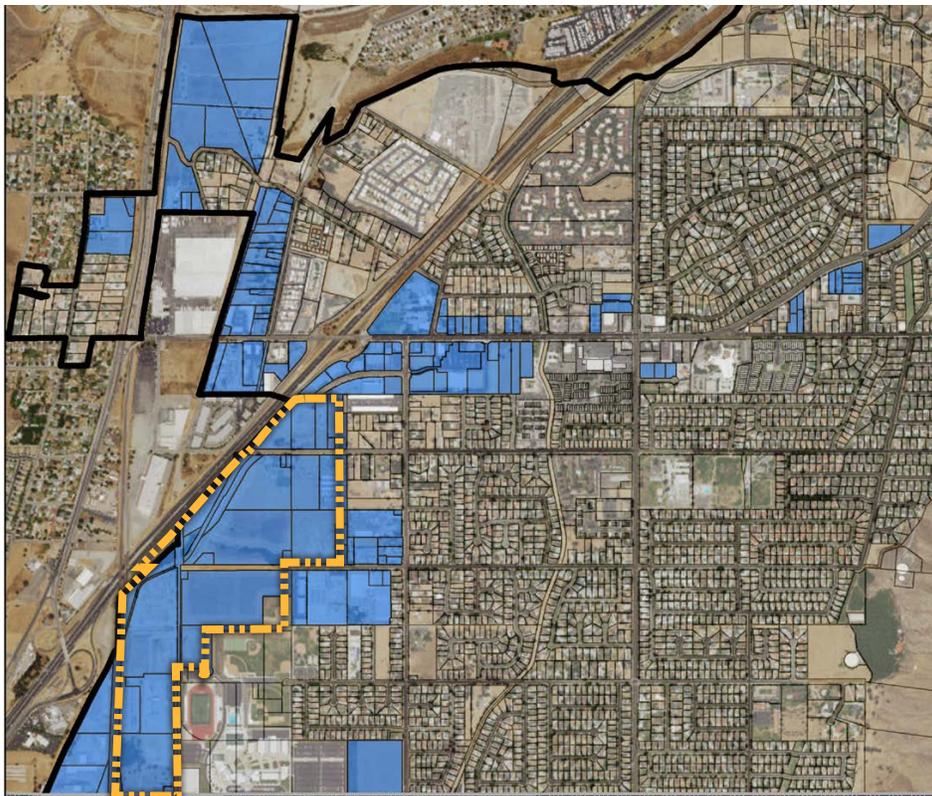
This Specific Plan may be amended using the same process by which it was approved.

## 5.5 Financing

### 5.5.1 Enhanced Infrastructure Financial District (EIFD)

The Specific Plan area is located within an EIFD. The EIFD is a new and innovative way to secure bond funding for public and private development. It allows property owners to access future property tax increments to help with development. Although an EIFD uses the same funding mechanism formerly use by redevelopment agencies, tax increments from schools cannot be part of an EIFD. While other Agencies are not automatically included in an EIFD, they can voluntarily commit some or all of their future tax increment.

The City's goal is to develop land at its highest and best use to generate more property taxes and other revenue, like sales or transit occupancy taxes (TOT). The revenue generated from an EIFD can be used within any area of the EIFD's boundary. Refer to Figure 5.1: EIFD Boundary for the location and extent of the EIFD.



#### Legend

-  Specific Plan Boundary
-  Enhanced Infrastructure Financial District (EIFD) Area

Figure 5.1: EIFD Boundary

### **5.5.2 Landscape Lighting and Maintenance Districts (LLMDs)**

LLMDs may be used for maintenance and servicing of landscaping and lighting through annual assessments on benefiting properties. LLMDs may also provide for maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities.

### **5.5.3 Financing & Maintenance of Improvements**

The financing of construction, operation, and maintenance of public improvements and facilities (facilities), and public services may include funding through a combination of financing mechanism. Final determination as to the facilities to be financed and as to maintenance responsibilities, whether public or private maintenance, will be made prior to approval of tentative maps or building permits. The following financing solutions can be considered for implementation.

#### **A. Facilities Construction Funding**

- Private capital investment for the construction of facilities, or
- Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.

#### **B. Operation and Maintenance of Private Facilities**

- By individual private property owner, or
- By home owners' or property owners' association.

City approval is a prerequisite for the implementation of any and all establishment of financing mechanisms.

#### **C. Operation and Maintenance of Public Facilities:**

Public facilities are planned for public maintenance by either the City, CFD, or by the appropriate utility service provider. These public facilities include but are not limited to the following:

- Public streets,
- Public traffic signals and traffic control signs,

## CHAPTER 5: IMPLEMENTATION AND ADMINISTRATION

- Public on-site water facilities, sewer facilities, and drainage facilities within public streets,
- Street lighting within public rights-of-way,
- Water quality facilities for treatment of flows in public streets, and
- Parks

### **D. Home Owners' or Property Owners' Association/Private Property Owner Maintenance:**

One or more associations may be established for the maintenance of private common area improvements. Private improvements to be maintained by the association(s) may include but are not limited to the following private facilities:

- Private streets, drive aisles and traffic control signs,
- Open space areas,
- Detention and water quality treatment facilities not located in public streets,
- Private sewer, storm drains and water systems,
- Recreational facilities,
- Walkways, entries and signage, and paseos,
- Community theme walls and fencing,
- Common area facing wall surfaces, and internal slopes fronting streets, and
- Common area landscaping and lighting.

### **5.5.4 Summary of Financing & Maintenance Responsibilities**

The financing and maintenance plan for the SP will ensure the timely completion of public facilities, utilities and other necessary capital improvements as well as the property maintenance of these facilities. Table 5.1: Financing and Maintenance Plan indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

Table 5.1: Financing and Maintenance Plan

Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
<b>Public Facilities</b>			
Streets and Sidewalks	City/Master Developer	Master Developer/EIFD	City of Grand Terrace
Community Walls/Fences	City/Master Developer	Master Developer/EIFD	City of Grand Terrace
Public Park	City/Master Developer	Master Developer/EIFD	City of Grand Terrace
Storm Drainage Facilities	City/Master Developer	Master Developer/EIFD	City of Grand Terrace/SBCFCD
Water Facilities	City/Master Developer	Master Developer/EIFD	RHWC
Sewer	City/Master Developer	Master Developer/EIFD	City of Colton
<b>Non-Residential</b>			
Landscape Setback	Developer	Developer	LLMD/Master Property Owners Association
Parking Lots	Developer	Developer	LLMD/Master Property Owners Association
<b>Residential</b>			
Common Area & Landscaping Improvements	Developer	Developer	LLMD/HOA
Walls/Fences	Developer	Developer	LLMD/HOA

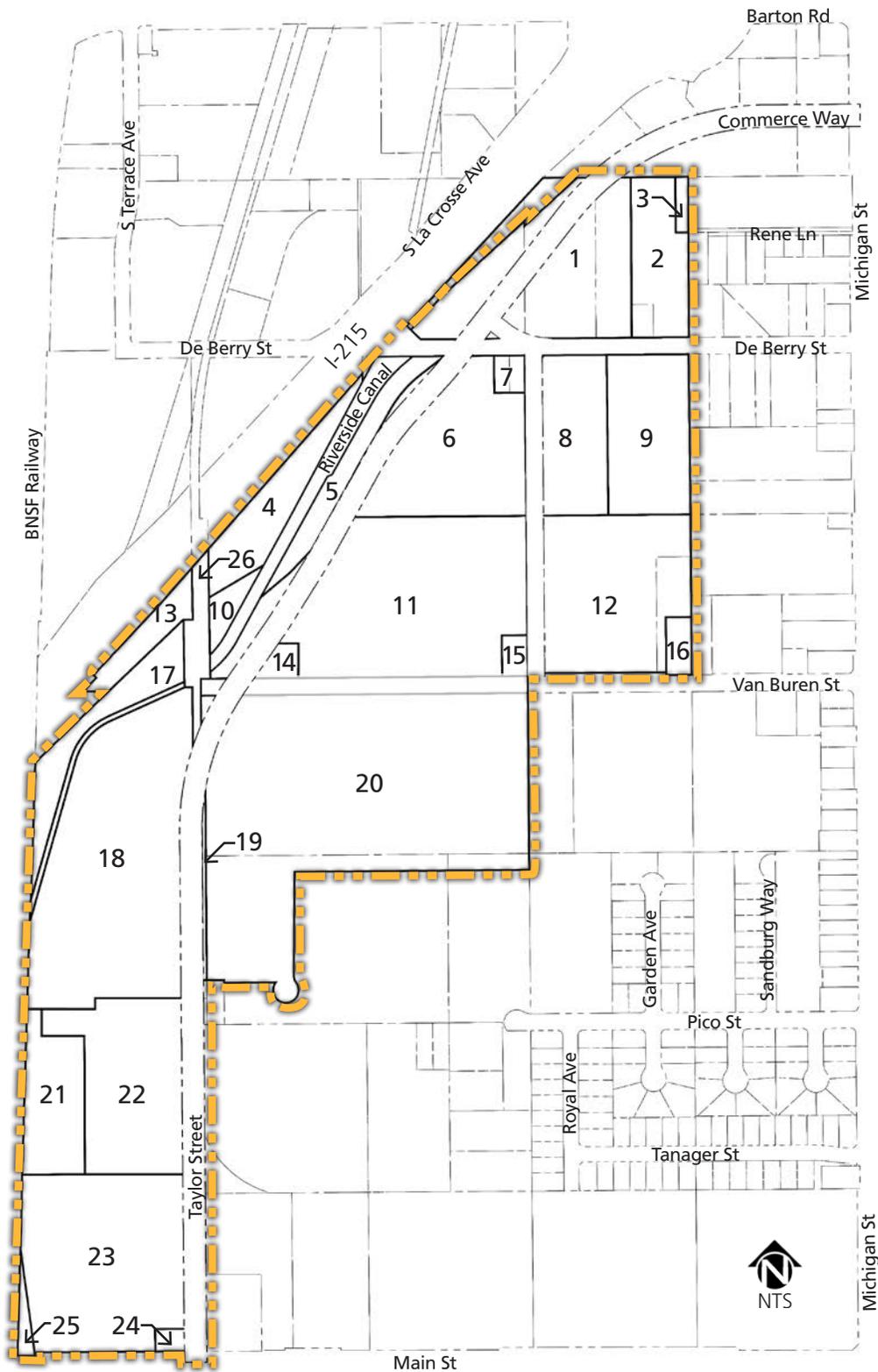
# APPENDIX A

## PROPERTY OWNERSHIP

There are 14 private and public entities that own property in the Specific Plan Area. Please use the map and table on the following pages to determine who owns which piece of property.

Table A.1: Property Ownership

Planning Area	Area (Acres)	Owner	A.P.N.(S)
1	8.22	Georgia Capital	1167-151-78 1167-151-79 1167-161-33
2	3.00	Lewis	1167-161-03 1167-161-04
3	0.25	City of Riverside	1167-161-05
4	2.80	Pierce	1167-151-09
5	1.90	San Bernardino County Flood	1167-151-11
6	7.97	Hubbs	1167-151-10
7	0.40	Johansen	1167-151-12 1167-151-13
8	4.65	Petta/Armstead	1167-171-11
9	4.65	De Berry Self-Storage	1167-171-12
10	0.26	San Bernardino County Flood	1167-151-20
11	13.70	Lewis	1167-151-22
12	8.64	Fo Fan Chi Ming, LLC	1167-181-12 1167-181-13
13	1.26	San Bernardino County Flood	1167-151-17
14	0.58	City of Riverside	1167-151-21
15	0.37	City of Riverside	1167-151-23
16	0.52	Halvin	1167-181-01
17	2.51	So Cal Edison	1167-151-18
18	14.75	Lewis	1167-151-68
19	0.37	Southern Pacific Transportation (Union Pacific Railroad)	1167-151-65
20	23.83	Lewis	1167-151-68 1167-151-71 1167-151-73 1167-151-74 1167-151-75
21	3.10	So Cal Edison	1167-151-64
22	6.69	Riverside Canal Power Co.	1167-151-76
23	9.87	APS Auto Parts Specialist Inc.	1167-151-77
24	0.25	Riverside Highland Water	1167-151-41
25	0.33	Riverside County Transportation	1167-151-40
26	2.92	Southern Pacific Transportation (UPRR)	1167-151-26 1167-151-28
Van Buren Street	1.94	City of Grand Terrace	
De Berry Street	1.95	City of Grand Terrace	
Taylor Street	1.19	City of Grand Terrace	
Riverside Canal	2.45	City of Riverside	1167-151-14 1167-151-24
<b>Total Area</b>	<b>131.35</b>		



**Legend**  
 Specific Plan Boundary

Figure A.1: Planning Areas

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# APPENDIX B

## PLANT PALETTE

Table B.1: Streetscape Palette

BOTANICAL NAME	COMMON NAME
CANOPY	
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Fraxinus uhdei</i> 'Majestic Beauty'	Majestic Beauty Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia t. inermis</i> 'Shademaster'	Honey Locust
<i>Magnolia grandiflora</i> 'D.D. Blanchard'	Southern Magnolia
<i>Podocarpus gracilior</i>	Fern Pine
<i>Ulmus parvifolia</i> 'True Green'	Evergreen Elm
SKYLINE	
<i>Grevillea robusta</i>	Silk Oak
<i>Phoenix dactylifera</i>	Date Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Tristania conferta</i>	Brisbane Box
UNDERSTORY	
<i>Arbutus</i> 'Marina'	Strawberry Tree
<i>Citrus sinensis</i>	Orange Tree
<i>Chitalpa tashkentensis</i> 'Morning Cloud'	Chitalpa
<i>Lagerstroemia</i> (Species)	Crape Myrtle
SCREEN - TREES	
<i>Cercidium hybrid</i> 'Desert Museum'	Hybrid Palo Verde
<i>Citrus sinensis</i>	Orange Tree
<i>Eucalyptus sideroxylon</i> 'Rosea'	Pink Iron Bark
<i>Geijera parviflora</i>	Australian Willow
<i>Pinus eldarica</i>	Mondell Pine
<i>Rhus lancea</i>	African Sumac
<i>African Sumac</i>	Brisbane Box

Table B.1: Streetscape Palette

BOTANICAL NAME	COMMON NAME
SCREEN - SHRUBS	
<i>Agave 'Blue Flame'</i>	Blue Flame Agave
<i>Agave desmettiana 'Variegata'</i>	Variegated Dwarf Century Plant
<i>Agave weberi</i>	Weber's Century Plant
<i>Aloe arborescens</i>	Tree Aloe
<i>Aloe vera</i>	Medicinal Aloe
<i>Baccharis 'Centennial'</i>	Coyote Brush
<i>Bougainvillea 'Oh La La'</i>	Bougainvillea
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster's Feather Reed Grass
<i>Callistemon viminalis 'LittleJohn'</i>	Dwarf Bottlebrush
<i>Carex praeegracillis</i>	Western Meadow Sedge
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dianella tasmanica 'Silver Streak'</i>	Silver Streak Flax Lily
<i>Galvezia speciosa 'Firecracker'</i>	Firecracker Island Bush Snapdragon
<i>Hemerocallis 'Dwarf Red'</i>	Day Lily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Leucophyllum candidum 'Thundercloud'</i>	N.C.N.
<i>Leymus condensatus 'Canyon Prince'</i>	Canyon Prince Wild Rye
<i>Ligustrum japonicum 'Texanum'</i>	Wax Leaf Privet
<i>Lomandra longifolia 'LM300'</i>	Breeze Dwarf Mat Rush
<i>Miscanthus sinensis 'Morning Light'</i>	Morning Light Maiden Grass
<i>Moraea bicolor</i>	Fortnight Lily
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Olea europaea 'Montra' P.P.#6266</i>	Little Ollie Dwarf Olive
<i>Opuntia violacea 'Santa Rita'</i>	Santa Rita Prickley Pear

Table B.1: Streetscape Palette

BOTANICAL NAME	COMMON NAME
<i>Pennisetum 'Fairy Tails'</i>	Fairy Tails Fountain Grass
<i>Pittosporum tobira</i>	Tobira
<i>Raphiolepis indica</i>	Indian Hawthorne
<i>Rosa f. 'Angel Face'</i>	Lavender Shrub Rose
<i>Rosa x 'Noare'</i>	Flower Carpet Red Groudcover Rose
<i>Strelizia reginae</i>	Bird-of-Paradise
<i>Pittosporum tobira</i>	Tobira
<i>Raphiolepis indica</i>	Indian Hawthorne
<i>Rosa f. 'Angel Face'</i>	Lavender Shrub Rose
<i>Rosa x 'Noare'</i>	Flower Carpet Red Groudcover Rose
<i>Strelizia reginae</i>	Bird-of-Paradise
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Westringia 'Wynyabbie Gem'</i>	Coast Rosemary
<i>Xylosma congestum</i>	Xylosma
<i>Yucca recurvifolia</i>	Pendulous Yucca
SCREEN - VINES & ESPALIERS	
<i>Ficus pumila (repens)</i>	Creeping Fig
<i>Rosa hybrid 'Blaze'</i>	Climbing Rose (Red)
STREETSCAPE GROUND COVER	
<i>Gazania splendens 'Sunrise Yellow'</i>	Yellow Gazania
<i>Lonicera japonica 'Halliana'</i>	Japanese Honeysuckle
<i>Myoporum parvifolium</i>	N.C.N
<i>Vinca minor</i>	Dwarf Periwinkle

Table B.2: Master Plant List

BOTANICAL NAME	COMMON NAME
<b>TREES</b>	
<i>Arbutus 'Marina'</i>	Strawberry Tree
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cercidium hybrid 'Desert Museum'</i>	Hybrid Palo Verde
<i>Chitalpa tashkentensis 'Morning Cloud'</i>	Chitalpa
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Citrus sinensis</i>	Orange Trees
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Eucalyptus sideroxylon 'Rosea'</i>	Pink Iron Bark
<i>Fraxinus uhdei 'Majestic Beauty'</i>	Majestic Beauty Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia t. inermis 'Shademaster'</i>	Honey Locust
<i>Grevillea robusta</i>	Silk Oak
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Lagerstroemia (Species)</i>	Crape Myrtle
<i>Magnolia grandiflora 'D.D. Blanchard'</i>	Southern Magnolia
<i>Olea europaea</i>	Olive
<i>Pinus eldarica</i>	Mondell Pine
<i>Podocarpus gracilior</i>	Fern Pine
<i>Pyrus calleryana 'Chanticleer'</i>	Chanticleer Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Rhus lancea</i>	African Sumac
<i>Schinus molle</i>	California Pepper Tree
<i>Strelitzia nicholai</i>	Giant Bird-of-Paradise
<i>Tipuana tipu</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia 'True Green'</i>	Evergreen Elm
<i>Zelkova serrata 'Halka'</i>	Sawleaf Zelkova

Table B.2: Master Plant List

BOTANICAL NAME	COMMON NAME
<b>PALMS</b>	
<i>Brahea armata</i>	Mexican Blue Fan Palm
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Syagrus romanzoffianum</i> (Arecastrum)	Queen Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<b>SHRUBS</b>	
<i>Agave</i> 'Blue Flame'	Blue Flame Agave
<i>Agave desmettiana</i> 'Variegata'	Variegated Dwarf Century Plant
<i>Agave vilmoriniana</i>	Octopus Agave
<i>Agave weberi</i>	Weber's Century Plant
<i>Aloe arborescens</i>	Tree Aloe
<i>Aloe vera</i>	Medicinal Aloe
<i>Baccharis</i> 'Centennial'	Coyote Brush
<i>Bougainvillea</i> 'Oh La La'	Bougainvillea
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster's Feather Reed Grass
<i>Callistemon viminalis</i> 'LittleJohn'	Dwarf Bottlebrush
<i>Carex praegracilllis</i>	Western Meadow Sedge
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dianella tasmanica</i> 'Silver Streak'	Silver Streak Flax Lily
<i>Galvezia speciosa</i> 'Firecracker'	Firecracker Island Bush Snapdragon
<i>Hemerocallis</i> 'Dwarf Red'	Day Lily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Ilex
<i>Leucophyllum candidum</i> 'Thundercloud'	N.C.N.
<i>Leymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye
<i>Ligustrum japonicum</i> 'Texanum'	Wax Leaf Privet
<i>Lomandra longifolia</i> 'LM300'	Breeze Dwarf Mat Rush
<i>Miscanthus sinensis</i> 'Morning Light'	Morning Light Maiden Grass
<i>Moraea bicolor</i>	Fortnight Lily
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Olea europaea</i> 'Montra' P.P.#6266	Little Ollie Dwarf Olive
<i>Opuntia violacea</i> 'Santa Rita'	Santa Rita Prickley Pear
<i>Pennisetum</i> 'Fairy Tails'	Fairy Tails Fountain Grass
<i>Pittosporum tobira</i>	Tobira
<i>Rhaphiolepis indica</i>	Indian Hawthorne

Table B.2: Master Plant List

BOTANICAL NAME	COMMON NAME
<i>Rosa f. 'Angel Face'</i>	Lavender Shrub Rose
<i>Rosa x 'Noare'</i>	Flower Carpet Red Groudcover Rose
<i>Russelia equisetiformis</i>	Coral Fountain
<i>Strelizia reginae</i>	Bird-of-Paradise
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Westringia 'Wynyabbie Gem'</i>	Coast Rosemary
<i>Xylosma congestum</i>	Xylosma
<i>Yucca recurvifolia</i>	Pendulous Yucca
VINES & ESPALIERS	
<i>Ficus pumila (repens)</i>	Creeping Fig
<i>Rosa hybrid 'Blaze'</i>	Climbing Rose (Red)
GROUND COVER	
<i>Gazania splendens 'Sunrise Yellow'</i>	Yellow Gazania
<i>Lonicera japonica 'Halliana'</i>	Japanese Honeysuckle
<i>Myoporum parvifolium</i>	N.C.N
<i>Vinca minor</i>	Dwarf Periwinkle